



AGENDA
HISTORIC DISTRICT COUNCIL
NOVEMBER 17, 2016
5:00 PM
CITY HALL COMMISSION CHAMBERS
204 ASH STREET
FERNANDINA BEACH, FL 32034

1. CALL TO ORDER

2. ROLL CALL/DETERMINATION OF A QUORUM

3. APPROVAL OF MINUTES

Approval of Minutes from the HDC Regular Meeting of October 20, 2016.

Documents:

[2016 10-20 HDC RM Minutes Draft.pdf](#)

4. OLD BUSINESS

4.1. PATRICIA TAYLOR C/O COTNER & ASSOCIATES, 215 AMELIA STREET (HDC 2016-12)

AMENDMENT to previously approved COA to change first level exterior siding from stucco to wood siding to match existing and replacing proposed windows on 2nd floor south elevation with false shutters. (*Quasi-Judicial*)

Documents:

[HDC 2016-12 \(Amendment\) Agenda Packet.pdf](#)

5. NEW BUSINESS

5.1. MARTHA S. ENGLE-HOWARD C/O COTNER & ASSOCIATES, 120 & 124 N. 3RD STREET (HDC 2016-24)

Creation of a duplex by adding a 643 SF 2nd floor dwelling above a 791 SF garage/workshop on the north elevation of the contributing historic structure.

Construct a 2-story entry element with a walled courtyard. Enclose a 1-story 323 SF porch at the northeast corner of the contributing historic structure; relocate existing porch steps and construct an arbor connecting new building elements. (*Quasi-Judicial*)

Documents:

[HDC 2016-24 Agenda Packet.pdf](#)

5.2. 316 CENTRE STREET LLC C/O COTNER & ASSOCIATES, 316 CENTRE STREET (HDC 2016-26)

Demolish non-contributing additions on the east and south sides of contributing

structure. Construct new 2-story additions at south and east elevations; facade renovations including removing upper-story windows, recreating details to match historic appearance, painting non-historic brick, creation of new storefront facade at 1st floor, and the addition of aluminum railings at ground floor terrace dining area. *(Quasi-Judicial)*

Documents:

[HDC 2016-26 Agenda Packet.pdf](#)

5.3. MAC + GI LLC C/O DONNA LYNNE CUSTOM HOMES, INC., 14 S. 2ND STREET (HDC 2016-27)

Demolish a non-contributing accessory structure on the northeast corner of the site. *(Quasi-Judicial)*

Documents:

[HDC2016-27 Agenda Packet.pdf](#)

5.4. MAC + GI LLC C/O DONNA LYNNE CUSTOM HOMES, INC., 14 S. 2ND STREET (HDC 2016-28)

Reconstruct two storage buildings; install new handrail and decking on the ADA ramp, modifications to the entry fence, and reconstruction of the sign post. *(Quasi-Judicial)*

Documents:

[HDC 2016-28 Agenda Packet.pdf](#)

6. STAFF-APPROVED CERTIFICATES OF APPROVAL

6.1. MADELINE RICHARD, 227 S. 8TH STREET (HDC SA 2016-68)

Repaint exterior of house with the following colors:

1. Exterior: SW0014 Sheraton Sage
2. Fascia Trim: SW 2822 Downing Sand
3. Front door + Window Trim: SW 2856 Fairfax Brown
4. Panel + Trim: SW 2814 Rookwood Antique Gold

6.2. MAC + GI LLC/JOE'S BISTRO C/O DONNA LYNN VAMPUYMBROUCK, 14 S. 2ND STREET (HDC SA 2016-69)

Install 36" x 36" projecting sign.

6.3. AMELIA HARBOR VIEW LLC C/O EXCEL ROOFING CONTRACTORS, 19 S. 2ND STREET (HDC SA 2016-70)

Replace 54' x 32' section of white modified bitumen roof, not seen from street.

6.4. TSP PARTNERS LLC / SALTY PELICAN C/O DOUGLAS & TERRAS, 12 N. FRONT STREET (HDC SA 2016-71)

Install/repair 60 FT of stockade pine fencing, 6 FT in height.

6.5. ROBIN + DAVID JONES, 606 DATE STREET (HDC SA 2016-72)

Install 4" x 8" Tremron Heritage pavers on driveway.

6.6. RACHRIDGE LLC C/O COLE BUILDERS, 115 CENTRE STREET (HDC SA 2016-73)

Construction of a 12' x 18' cooler on the west side of building, not seen from the street.

7. PUBLIC COMMENT - ITEMS NOT ON THE AGENDA

8. BOARD BUSINESS

9. STAFF REPORT

10. ADJOURNMENT

NEXT HDC REGULAR MEETING IS SCHEDULED DECEMBER 15, 2016

Quasi-Judicial – Denotes that the item must be conducted as a Quasi-Judicial hearing in accordance with City Commission established procedure and Florida Statutes.

All members of the public are invited to be present and be heard. Persons with disabilities requiring accommodations in order to participate in this program or activity should contact the City Clerk at (904) 310-3115 or TTY/TDD 711 (for the hearing or speech impaired).

All interested parties may appear at said meeting and be heard as to the advisability of any action, which may be considered with respect to such matter. For information regarding this matter, please contact the Community Development Department (904) 310-3135. If any person decides to appeal any decision made by the Historic District Council with respect to any matter considered at such meeting he/she will need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be made.

1. **Call to Order** –The meeting was called to order at 5:00 pm.

2. **Roll Call/Determination of Quorum**

Council Members Present

Michael Harrison, Chair
Robert Erickson
George Sheffield, Vice-Chair

Jennifer King-Cascone
Shelly Rawls
Angela Conway (Alternate)

Council Members Absent

William Tilson (Alternate)

Others Present

Tammi Bach, City Attorney
Salvatore J. Cumella, City Planner
Sylvie McCann, Recording Secretary

Chair Harrison mentions ex parte communications regarding Case 2016-15 where Mr. Zawistowski stopped by his house a few weeks before Hurricane Matthew hit to discuss the changes addressed on tonight’s agenda. There were no other ex parte communications to be disclosed by the board members. City Attorney Bach briefly explained the quasi-judicial procedures. Recording Secretary McCann administered the oath to those parties that were about to present testimony.

3. **Approval of Minutes** – According to the agenda support documents, the Minutes for the September 15, 2016 Regular Meeting were presented for approval. **A motion was made by Member Cascone, seconded by Member Sheffield, to approve the Minutes as presented. Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.**

4. **Old Business**

4.1. ROBERT E. ZAWISTOWSKI, 202 ESTRADA STREET (HDC 2016-15) **AMENDMENT**
Amendment to COA to change French doors on the west (front) elevation to sliding doors.

Mr. Cumella explained that the design of this residence, which is located in Old Town, was approved by the HDC at the June 16, 2016 meeting. The applicant is proposing to make an amendment to two exterior doors leading onto the front porch on the west (front) elevation. The doors previously approved were Anderson A-Series outswing French doors with divided lites. The applicant is proposing to use the same doors, but in a sliding style rather than outswing in order to maximize usable square footage of porch. Staff found this change is substantially consistent with the Land Development Code, The Secretary of the Interior Standards, and the Old Town Fernandina Preservation and Development Guidelines which do not address architecture or door styles specifically and recommended approval of the amendment for HDC case 2016-15.

Chair Harrison asks Staff why this amendment was not considered under Staff Approval instead of being presented to the Board. Mr. Cumella explained that after discussion with Marshall McCrary, Community Development Director, any amendments to any previously reviewed and approved Board cases should be presented back to the Board for review of changes. Mr. Cumella did point out that any amendment to Staff Approval can be handled directly through the Staff Approval process.

Mr. Chad Dougherty, 2211 Florida Avenue, Contractor for the applicant, explain that these are the same door slabs and will improve the functionality of the deck and living space especially for moving furniture in and out along with installation of a screen which would not be possible with swinging doors.

The public hearing was opened at this time and there being no comments from the floor, the public hearing was closed. Member Erickson commented that if this had been presented on the original plan there probably would have been no comments made about it, and doesn't see a significant problem with it. **A motion was made by Member Sheffield, seconded by Member Cascone, to approve the amendment HDC 2016-15; and that the HDC make the following the findings of fact and conclusions of law part of the record that HDC 2016-15 as presented is substantially compliant with the Land Development Code, the Old Town Fernandina Preservation Development Guidelines, and the Secretary of Interior Standards to warrant approval at this time. Vote upon passage of the motion was taken by ayes and nays and was as follows:**

Member Cascone:	Aye
Member Rawls:	Nay
Member Erickson:	Aye
Vice Chair Sheffield:	Aye
Chair Harrison:	Aye

5. New Business -

5.1. SUSANNAH A. WARNER C/O DAVID JUSTYN, 430 S. 7TH STREET (HDC 2016-23)

Removal of brick steps at entry porch to be replaced with new brick steps. Construct handrails along both sides of steps to match existing woodwork. Add 2 foundation piers and repair existing piers.

Mr. Cumella explained that applicant is proposing to remove the existing brick steps to front entry and replace in-kind. The original front steps are suffering damage due to settling and are hazardous. A new footer will be installed and brick steps constructed to match original. Wooden handrails that have been designed to complement the existing historic woodwork will be installed at left and right sides of new steps. They will be painted white to match existing woodwork. The only difference in the new construction will be the short brick walls at the side of the steps not being put back in order to make these new handrails functional. There will be 2 new footers installed to correct sagging floors. Existing piers that are in need of repair will be repaired and repointed as needed. Staff found this change is substantially consistent with the Land Development Code, The Secretary of the Interior Standards, and the Downtown Historic District Guidelines and recommended approval of the amendment for HDC case 2016-23.

Member Cascone inquired if design shown in agenda packet is what will be constructed. Staff confirmed and added that this will be wood. As for the new piers, they will not be seen and will be installed in the center of the house foundation. The ones being repaired will be done with similar material. Member Rawls asks about the pilaster being extended to which Staff confirmed that it will be enhanced to handle the railing.

Mr. David Justyn, 1888 Gardenia Street, Contractor for the applicant explained scope of the project regarding steps and handrails. Member Erickson asked if back in the 1920s the structure would have had railings for esthetic on the right hand side. Mr. Justyn explained that originally the print of the house showed the porch being the full length of the house and has been dismantled since then.

The Public Hearing was then opened for comments:

Mrs. Rhea London, 416 S. 7th Street, stated that she supports the improvement.

Mrs. Carolyn Warner, 430 S. 7th Street, daughter of owner and also architectural historian residing at the property, explained that the house was built in 1899 and that the Sanborn map shows that within two years of construction some changes were done as for the steps and porch, creating water accumulation issues where steps are positioned.

No further discussion by the HDC. **A motion was made by Member Cascone, seconded by Member Rawls, to approve HDC 2016-23; and that the HDC make the following the findings of fact and conclusions of law part of the record that HDC 2016-23 as presented is substantially compliant with the Land Development Code, the Downtown Historic District Guidelines, and the Secretary of Interior Standards to warrant approval at this time. Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.**

6. Staff-Approved Certificates of Approval

6.1. ROBERT + LORETTA ERICKSON, 30 S. 3RD STREET (HDC SA 2015-77)

****AMENDMENT****

Extension of previously approved COA for 6 months.

6.2. WILLIAM + DEIRDRE THORNTON, 306 S. 7TH STREET (HDC SA 2016-43)

****AMENDMENT****

- Add wood board and batten style shutters to front gable window, front porch window + 2 windows on south elevation, to be painted Royal Navy Blue to match awnings and door.
- Add brick veneer to front porch, steps, and entry walkway.

6.3. THE MARITIME MUSEUM C/O WILLIAM TAYLOR, 115 S. 2ND STREET (HDC SA 2016-64)

Install 19.5SF wall sign on northern facade area.

6.4. LOUIS THARIN, 412 N. 3RD STREET (HDC SA 2016-66)

For the following items:

1. Replace siding to match existing material; painted Sweet Pastel (1007-8A).
2. Restore windows and trim; painted white.
3. Replace wood porch flooring and restore to original.
4. Install new shingle roof.
5. Paint existing brick foundation Red/Gray.

There were no questions or concerns regarding the staff approved Certificates of Approval.

6. Public Comment - Items Not on the Agenda –

7. Board Business

Member Cascone spoke with Mr. Cumella about a deteriorating and neglected property at 407 Beech Street and inquired about possibilities of demolition. Mr. Cumella prepared a hand out for Board Members and explained that this property has been on the watch list. He established communication with the owners which are an Estate comprised of family members. Staff explained that all parties including Michelle Forstrom, Code Enforcement Manager, will be working on stabilizing the property from further deterioration. City Attorney Bach also commented on the City's Land Development Code for Demolition by Neglect (Chapter 8.03.107) which is designed to allow property owners that meet all criteria, although a Historic structure, can either demolish part or all of the structure. In case of an absent owner, and only if the structure is deemed dangerous, the City working with Code Enforcement may get involved and become the applicant. Staff commented that in this case the property on Beech Street is not a dangerous building yet and encouragement to rehab the property is being

communicated to the owners, with also the possibility of putting the property for sale. Staff will lay out the requirements for safety to all involved with the Estate.

8. Staff Report

8.1. Mr. Cumella updated Board Members about remediated work performed at Sabbia, located at 11 N. 3rd Street. The Contractor may be present at next month's meeting to discuss work that has yet to be updated. Chair Harrison asked Staff if there is any improvement needed to the approval and inspection process between HDC and the City's Building Dept. Mr. Cumella explains the current process. Member Erickson commented that the process of approval with HDC could be sterner and Mr. Cumella mentioned that new fees have just been put in place as of October 1, 2016 regarding After the Fact COA. More discussion between the Board and Staff ensued about the process.

9. Adjournment - There being no further business to come before the Historic District Council, the meeting was adjourned 5:42 pm.

Sylvie McCann, Clerk

Michael Harrison, Chair



HISTORIC DISTRICT COUNCIL STAFF REPORT
HDC 2016-12 (Amendment)
November 17, 2016

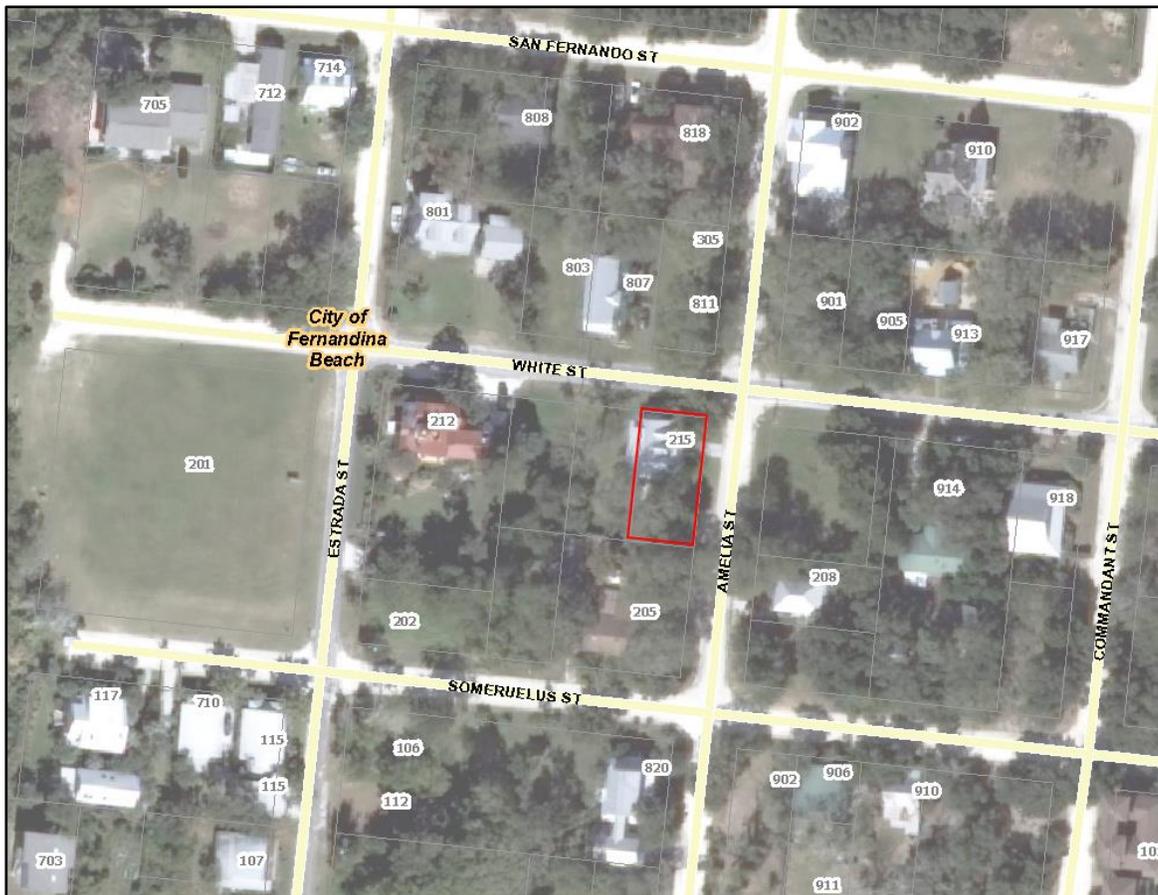
Owner/Applicant:
Property Address:
Requested action:

Cotner Associates, Inc. Architects, agent for Patricia Taylor
 215 Amelia Street
 Certificate of Approval (COA) to amend previously approved COA. Amendment includes changing exterior siding material at 1st floor from stucco to wood siding and replacing proposed windows on 2nd floor south elevation with false shutters.

Current zoning:
FLUM land use category:
Existing uses on the site:
Year Built:
Contributing Status:
Adjacent Properties:

OT-1				
HDR				
Residential				
1910 (Tax Appraiser)				
North	Vacant	c.	OT-2	
South	Residential	c. 1950	OT-2	
East	Vacant	c.	OT-2	
West	Vacant	c.	OT-2	

All required application materials have been received. All fees have been paid. All required notices have been made.



SUMMARY OF REQUEST AND BACKGROUND INFORMATION:

Applicant is proposing to amend previously approved COA. Amendment includes changing exterior siding material at 1st floor from stucco to wood siding and replacing proposed windows on 2nd floor south elevation with false shutters.

APPLICABLE GUIDELINES:

Secretary of the Interior's Standards for Rehabilitation

1. **A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**
Findings: *Complies* *Does not Comply* *N/A*
2. **The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**
Findings: *Complies* *Does not Comply* *N/A*
3. **Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**
Findings: *Complies* *Does not Comply* *N/A*
4. **Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.**
Findings: *Complies* *Does not Comply* *N/A*
5. **Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.**
Findings: *Complies* *Does not Comply* *N/A*
6. **Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.**
Findings: *Complies* *Does not Comply* *N/A*
7. **Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**
Findings: *Complies* *Does not Comply* *N/A*
8. **Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.**
Findings: *Complies* *Does not Comply* *N/A*
9. **New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**
Findings: *Complies* *Does not Comply* *N/A*
10. **New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**
Findings: *Complies* *Does not Comply* *N/A*

CITY OF FERNANDINA BEACH LAND DEVELOPMENT CODE

8.01.01.01 Standards for Development in the Historic District Overlays

- A. *The review of proposed development within the Historic District Overlays shall be based upon the latest edition of Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings from the U.S. Secretary of Interior.*
- B. *The review of proposed development within the Historic District Overlay shall also be based upon compliance with the Downtown Historic District Guidelines, dated December 1999, as amended from time to time. The review of proposed development within Old Town shall be based upon compliance with the Old Town Preservation and Development Guidelines, dated June 1999, as amended from time to time.*
- C. *In addition to standards applicable to the underlying zoning district, new construction within the Historic District Overlay shall be compatible with the existing character of the landmark or the district. Compatible design means architectural design and construction that will fit harmoniously into the district or the landmark site. New construction shall be compatible in scale, materials, and quality of construction with adjacent buildings and structures that have been designated.*
- D. *The following features shall be considered by the Historic District Council in the evaluation of proposed new construction, as such features comply with the guidelines referenced in Section 8.01.01.01(A) and (B) above:*
 - 1. *Scale, including height and width;*
 - 2. *Setbacks;*
 - 3. *Orientation and site coverage;*
 - 4. *Alignment, rhythm, and spacing of buildings;*
 - 5. *Form and detail, considering the link between old and new buildings;*
 - 6. *Maintaining materials within the district or on the landmark site;*
 - 7. *Maintaining quality within the district or on the landmark site;*
 - 8. *Facade proportions and window patterns;*
 - 9. *Entrances and porch projections;*
 - 10. *Roof forms; and*
 - 11. *Horizontal, vertical, or non-directional emphasis.*

8.02.02 Historic District Council Roles and Responsibilities

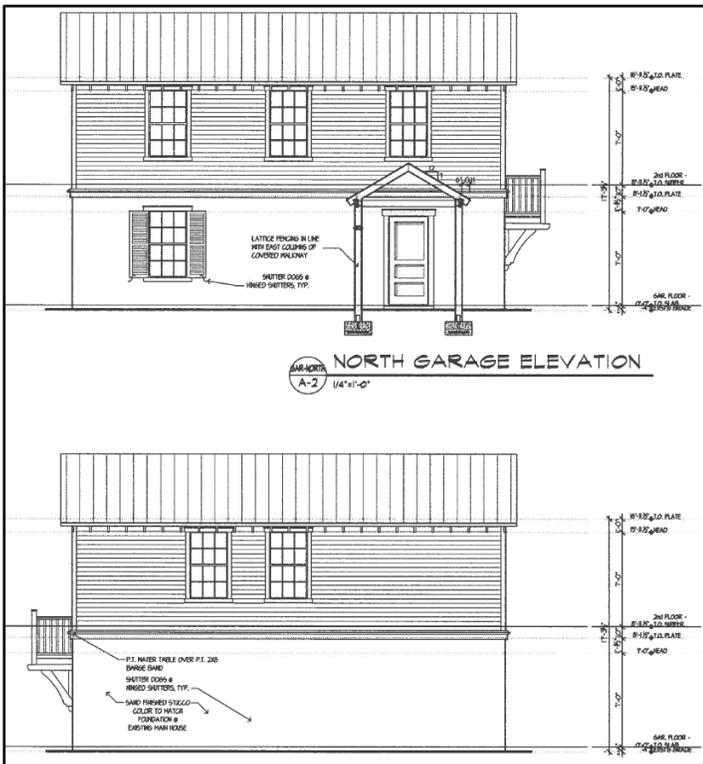
The HDC shall have the duty and responsibility to:

- C. *Review and approve or deny applications for a certificate of Approval for construction, alteration, demolition, or removal of historic landmarks, historic sites, archaeological sites, properties in historic districts, or properties in the CRA Overlay.*

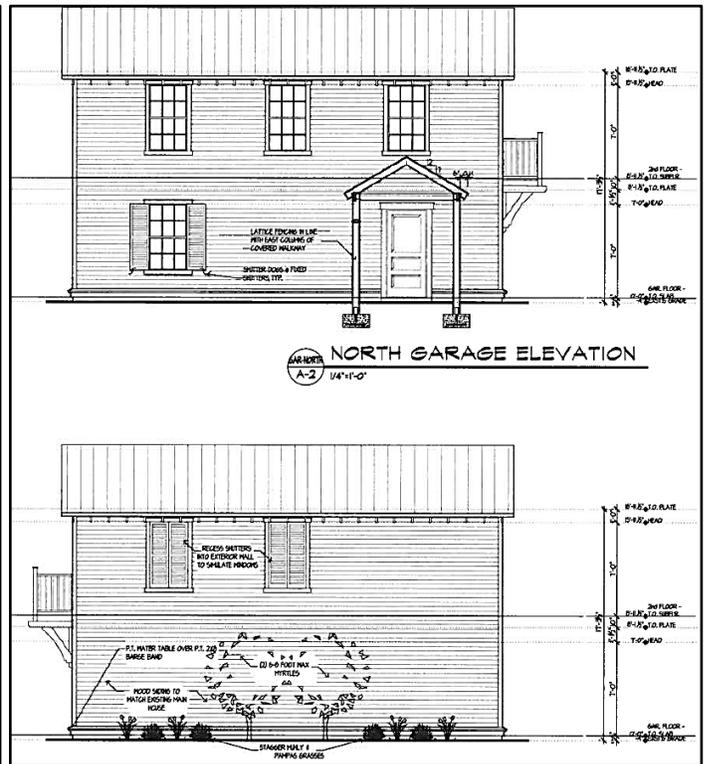
ANALYSIS:

Staff concludes that the requested action is substantially consistent with the Land Development Code; the Secretary of the Interior's Standards; and the Old Town Fernandina Preservation and Development Guidelines and recommends **APPROVAL** of HDC 2016-12 (Amendment).

Previously Approved Design



Proposed Amended Design



MOTION TO CONSIDER:

I move to **approve or deny** HDC case number 2016-12 (Amendment) **with or without** conditions;

AND I move that the HDC make the following findings of fact and conclusions of law part of the record:

That HDC case 2016-12 (Amendment), as presented, **is or is not** substantially compliant with the Land Development Code, the Old Town Fernandina Preservation and Development Guidelines, and the Secretary of the Interior's Standards to warrant approval at this time.

LIST OF EXHIBITS:

EXHIBIT 1 HDC 2016-12 (AMENDMENT) Application



Salvatore J. Cumella
Planner II



APPLICATION FOR HISTORIC DISTRICT COUNCIL COA

OFFICE USE ONLY
 REC'D: 9/27 BY: [Signature]
 PAYMENT: \$ 15- TYPE CK 21324
 APPLICATION #: 2016-0001445
 HDC CASE #: 2016-12
 APPLICATION COMPLETE: Y ___ N ___
 PRE-CONFERENCE: Y ___ N ___ DATE: _____



___ APPROVED ___ DENIED
 BOARD MEETING DATE:
 PLANNER: _____ DATE: _____

APPROVAL TYPE: Staff Approval Board Approval: Conceptual ___ or Final Amendment

PROJECT TYPE:
 New Construction Addition Alteration Relocation Demolition Variance
 Repair Paint Fence Sign Re-roof Other: _____

PROPERTY INFORMATION
 Street Address: 215 Amelia Street
 Historic District: Downtown Old Town CRA Waterfront
 Parcel Identification Number(s): 00-00-31-1580-0004-0010
 Zoning District: AE Lot / Block Number (optional) 1 & 2 / 4

Owner of Record
 Owner(s) Name
Patricia Taylor
 Corporation or Company
 Street Address
P.O. Box 472
 City State Zip
Oyster, NY 11771-0472
 Home Telephone Number
(516) 375-8523
 Fax Number
 Email Address
patricia.taylor@ihs.com

Applicant or Agent
 Applicant Name
Cotner Associates, Inc. architects
 Corporation or Company
 Street Address
9 S 3rd Street
 City State Zip
Fernandina Beach, FL: 32034
 Home Telephone Number
(904) 277-4593 Office
 Fax Number
(904) 277-6734
 Email Address
john@cotnerassociates.com

PROJECT DESCRIPTION

Part 1. Describe The Existing Conditions and Materials. Describe the existing structure(s) on the subject property in terms of the construction materials and site conditions, as well as the surrounding context.

Case 2016-12, previously approved in April 2016, the exterior siding consisted of sand finish stucco at level one exterior walls with wood siding at level two exterior walls to match existing residence.

Part 2. Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s). Attach further description sheets, if needed.

Proposed siding will now be wood siding to match existing residence on entirety of exterior walls proposed reduction in previously approved windows will remove two double hung windows on level two facing south for privacy from adjacent residence.

List proposed materials and colors, as applicable:

Project Scope	Type, Material, Brand	Color
Exterior Fabric	Wood lap siding to match existing	Pale yellow
Doors		
Windows		
Roofing		
Fascia/Trim		
Foundation		
Shutters		
Porch/Deck		
Fencing		
Driveways/Sidewalks		
Signage		
Other		

Please submit all product brochures, paint color samples, and material samples with your application.

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

1. I/We hereby attest to the fact that the above supplied parcel number(s) and legal description(s) is (are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the Community Development Department to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that Certificates of Approval are only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
4. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the HDC before work commences on those changes. There will be no charge for a revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and/or additional fees/penalties.
5. It is understood that the approval of this application by the Historic District Council or staff in no way constitutes approval of a Building Permit for construction from the City of Fernandina Beach Building Department.
6. The COA review time period will not commence until your application is deemed complete by staff and may take up to 10 days to process.
7. Historic District Council meetings are conducted in a quasi-judicial hearing and as such ex-parte communications are prohibited (Communication about your project with a Historic District Council member).

9-27-14
Date

[Signature]
Signature of Applicant

STATE OF FLORIDA }
 ss }
COUNTY OF NASSAU }

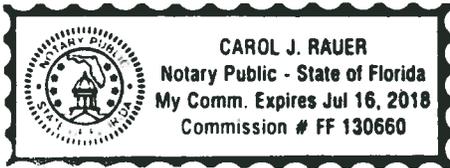
Subscribed and sworn to before me this 27th day of September, 2016.

[Signature]
Notary Public: Signature

CAROL J. RAUER
Printed Name

7/16/18
My Commission Expires

Personally Known OR Produced Identification ID Produced:



HISTORIC DISTRICT COUNCIL APPLICATION CHECKLIST

These requirements are not inclusive of the requirements for the proposed work. The Planning Department may require additional drawings, specifications or information in order to complete the review of the application.

THE FOLLOWING MUST BE PROVIDED IN ORDER TO BE A COMPLETE APPLICATION FOR CONCEPTUAL APPROVAL BY THE BOARD:

(1 copy of each)

- Proof of ownership (copy of deed or tax statement)
- 11x17 signed, sealed, scaled survey of the property
- 11x17 scaled site plan of the proposed work, including lot dimensions, setbacks, finished floor elevations, and any changes as a result of proposed building footprints
- Photographs of the existing site and existing buildings if any, including views from the street
- Architectural renderings of the proposed work, including information on proposed materials to be utilized

THE FOLLOWING MUST BE PROVIDED IN ORDER TO BE A COMPLETE APPLICATION FOR STAFF APPROVAL OR FINAL APPROVAL BY THE BOARD:

(1 copy of each)

- Proof of ownership (copy of deed or tax statement)
- 11x17 signed, sealed, scaled survey of property
- 11x17 scaled site plan of the proposed work, including lot dimensions, setbacks, finished floor elevations, and any changes as a result of proposed building footprints
- Photographs of the existing site and existing buildings if any, including views from the street.
- 11x17 drawings to scale showing ALL existing and proposed exterior elevations of primary and/or accessory buildings:
 - North Elevation
 - South Elevation
 - East Elevation
 - West Elevation
- Commercial Projects: Elevations and/or site plan must show all proposed mechanical and plumbing equipment (HVAC, hood vents, backflow preventers, etc.)
- Product/material details and specifications, including brochures or printouts, for any proposed material as applicable and not limited to: doors, windows, roofing, exterior fabric, fascia/trim, shutters, fencing, sidewalk/driveway, landscaping, foundation, porch/deck, sheds, and proposed colors for ALL surfaces to be painted/stained/treated.

For Board review cases, you will receive a staff report approximately one week before your meeting.



OWNER'S AUTHORIZATION FOR AGENT REPRESENTATION

I/~~WE~~ PATRICIA TAYLOR
(print name of property owner(s))

hereby authorize: JOHN COTNER
(print name of agent)

to represent me/us in processing an application for: HDC
(type of application)

on our behalf. In authorizing the agent to represent me/us, I/we, as owner/owners, attest that the application is made in good faith and that any information contained in the application is accurate and complete.

[Signature]
(Signature of owner)

(Signature of owner)

PATRICIA TAYLOR
(Print name of owner)

(Print name of owner)

STATE OF FLORIDA }
 } SS
COUNTY OF NASSAU }

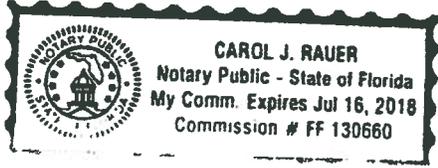
Subscribed and sworn to before me this 3 day of MARCH, 2016.

[Signature]
Notary Public: Signature

CAROL J. RAUER
Printed Name

7/16/18
My Commission Expires

Personally Known _____ OR Produced Identification NY LICENSE ID Produced: 448-591-962



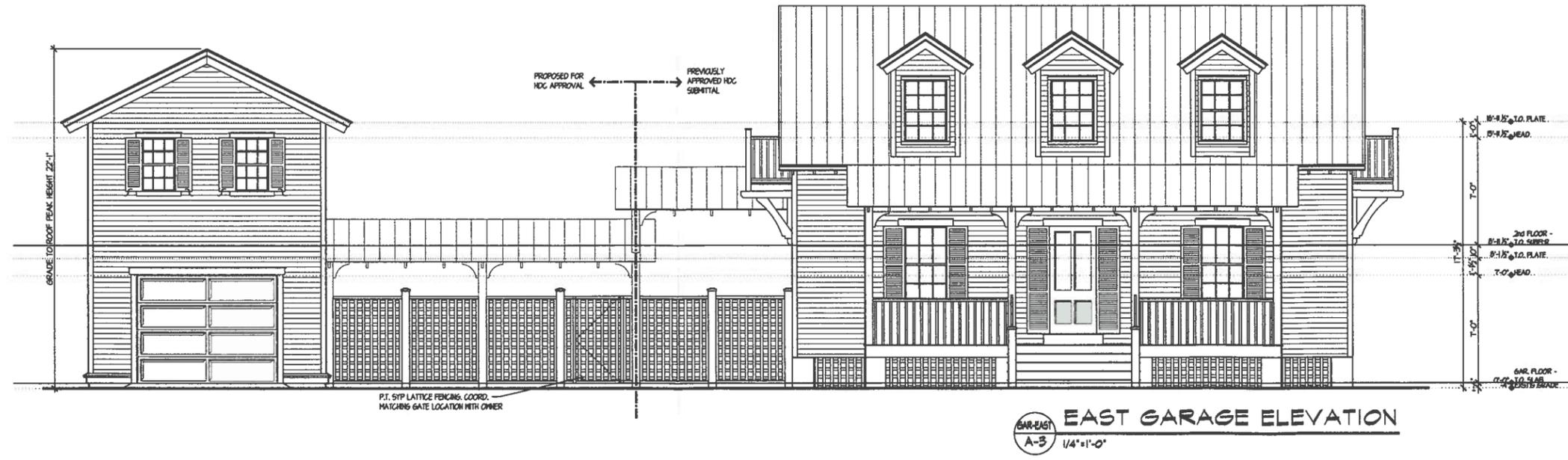
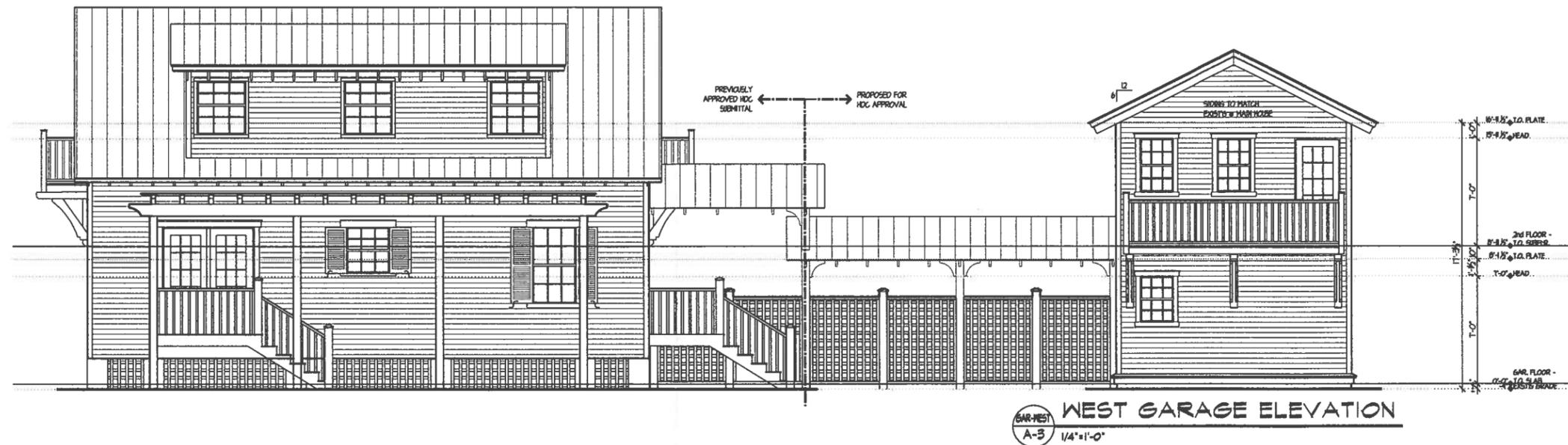
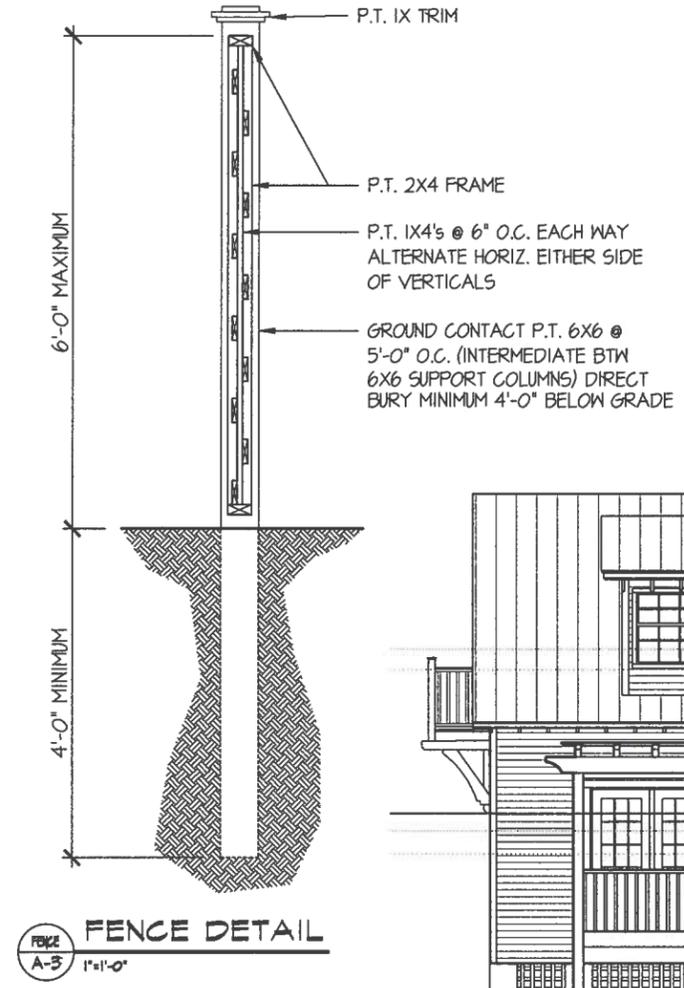


Cotner Associates, Inc.
Architects
9 South Third Street
Fernandina Beach, Florida 32034
PH 904-277-4583 FAX 904-277-6734

Revisions No.	Description	Date
1	ISSUED DRAWINGS FOR BID SET	06.27.16

Issue Date	Issued To/For	Specifications	Printing Date
03-10-16	Client Review		
03-11-16	IBC Approval		
06-25-16	Client & Constructy/Pricing		

Not Published + All Rights Reserved
These drawings and specifications are the property of Cotner Associates, Inc. and are to be used only for the project and site identified herein. They are not to be used for any other project without the express written consent of Cotner Associates, Inc.



TAYLOR ACCESSORY STRUCTURE
215 AMELIA STREET
FERNANDINA BEACH
NASSAU COUNTY, FLORIDA

NOTE: DRAWING SCALE IS 1/2" OF SCALE LISTED IF PRINTED ON 11X17 MEDIA
Project: 161481 Released:
GARAGE ELEVATIONS
Plan North Sheet Number
A-3
Page of XX



HISTORIC DISTRICT COUNCIL STAFF REPORT
HDC 2016-24
November 17, 2016

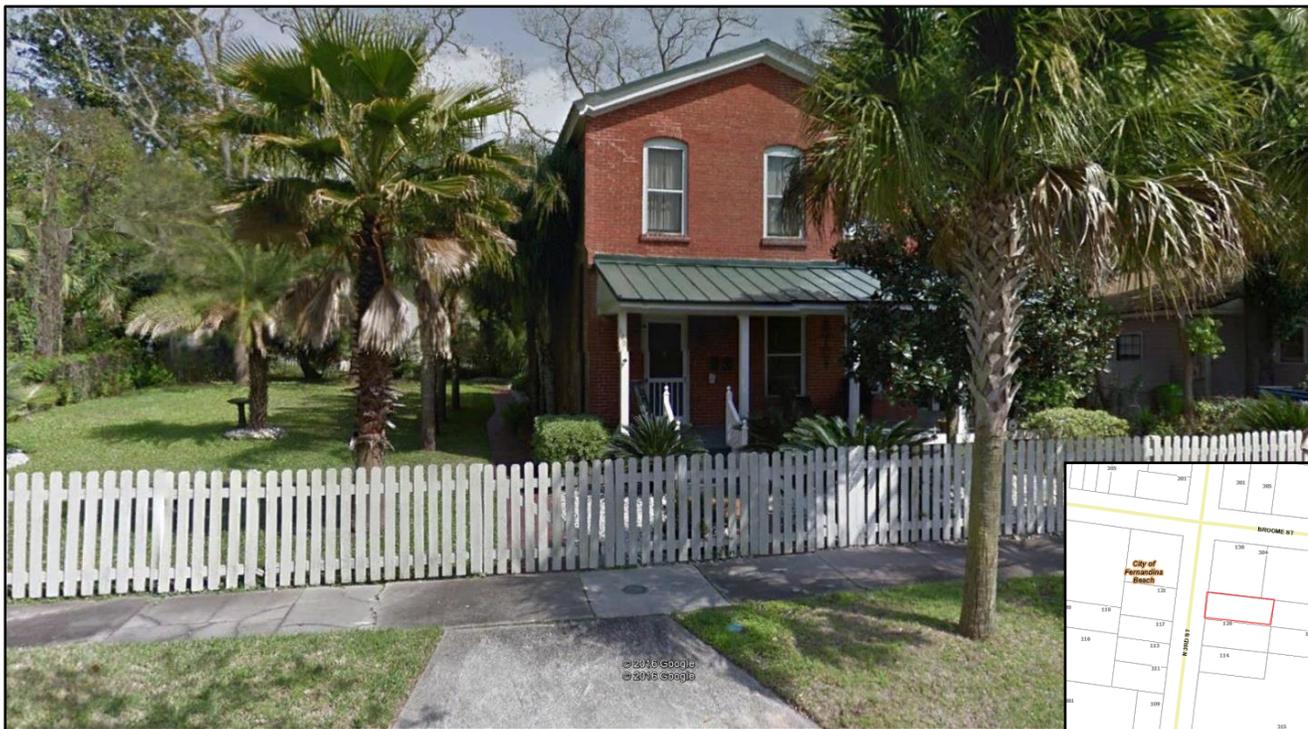
Owner/Applicant:
Property Address:
Requested action:

Cotner Associates, Inc. Architects, agent for Howard and Martha Engle
 120/124 N 3rd Street
 Certificate of Approval (COA) to create a duplex by adding a 643 sq. ft. 2nd floor dwelling above a 791 sq. ft. garage/workshop on the north elevation of the contributing historic structure; construct a 2-story entry element with a walled courtyard; enclose a 1-story, 323 sq. ft. porch at the northeast corner of the contributing historic structure; relocate existing porch steps; and construct an arbor connecting the new building elements.

Current zoning:
FLUM land use category:
Existing uses on the site:
Year Built:
Contributing Status:
Adjacent Properties:

R-2				
Medium Density Residential				
Residential				
1900 (Tax Appraiser) 1884 (FL Master Site File)				
Contributing Structure				
North	Residential	c. 1930	R-2	
South	Residential	c. 1900	R-2	
East	Residential	c. 1920	R-2	
West	Residential	c. 1900	R-2	

All required application materials have been received. All fees have been paid. All required notices have been made.



SUMMARY OF REQUEST AND BACKGROUND INFORMATION:

Applicant is proposing to create a duplex by adding a 643 sq. ft. 2nd floor dwelling above a 791 sq. ft. garage/workshop on the north elevation of the contributing historic structure; construct a 2-story entry element with a walled courtyard; enclose a 1-story, 323 sq. ft. porch at the northeast corner of the contributing historic structure; relocate existing porch steps; and construct an arbor connecting the new building elements.

APPLICABLE GUIDELINES:

Secretary of the Interior's Standards for Rehabilitation

1. **A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**
Findings: *Complies* *Does not Comply* *N/A*
2. **The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**
Findings: *Complies* *Does not Comply* *N/A*
3. **Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**
Findings: *Complies* *Does not Comply* *N/A*
4. **Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.**
Findings: *Complies* *Does not Comply* *N/A*
5. **Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.**
Findings: *Complies* *Does not Comply* *N/A*
6. **Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.**
Findings: *Complies* *Does not Comply* *N/A*
7. **Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**
Findings: *Complies* *Does not Comply* *N/A*
8. **Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.**
Findings: *Complies* *Does not Comply* *N/A*
9. **New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**
Findings: *Complies* *Does not Comply* *N/A*
10. **New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**
Findings: *Complies* *Does not Comply* *N/A*

CITY OF FERNANDINA BEACH LAND DEVELOPMENT CODE

8.01.01.01 Standards for Development in the Historic District Overlays

- A. *The review of proposed development within the Historic District Overlays shall be based upon the latest edition of Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings from the U.S. Secretary of Interior.*
- B. *The review of proposed development within the Historic District Overlay shall also be based upon compliance with the Downtown Historic District Guidelines, dated December 1999, as amended from time to time. The review of proposed development within Old Town shall be based upon compliance with the Old Town Preservation and Development Guidelines, dated June 1999, as amended from time to time.*
- C. *In addition to standards applicable to the underlying zoning district, new construction within the Historic District Overlay shall be compatible with the existing character of the landmark or the district. Compatible design means architectural design and construction that will fit harmoniously into the district or the landmark site. New construction shall be compatible in scale, materials, and quality of construction with adjacent buildings and structures that have been designated.*
- D. *The following features shall be considered by the Historic District Council in the evaluation of proposed new construction, as such features comply with the guidelines referenced in Section 8.01.01.01(A) and (B) above:*
 - 1. *Scale, including height and width;*
 - 2. *Setbacks;*
 - 3. *Orientation and site coverage;*
 - 4. *Alignment, rhythm, and spacing of buildings;*
 - 5. *Form and detail, considering the link between old and new buildings;*
 - 6. *Maintaining materials within the district or on the landmark site;*
 - 7. *Maintaining quality within the district or on the landmark site;*
 - 8. *Facade proportions and window patterns;*
 - 9. *Entrances and porch projections;*
 - 10. *Roof forms; and*
 - 11. *Horizontal, vertical, or non-directional emphasis.*

8.02.02 Historic District Council Roles and Responsibilities

The HDC shall have the duty and responsibility to:

- C. *Review and approve or deny applications for a certificate of Approval for construction, alteration, demolition, or removal of historic landmarks, historic sites, archaeological sites, properties in historic districts, or properties in the CRA Overlay.*

2.01.05 Medium Density Residential (R-2)

The R-2 District is intended for the development, redevelopment, or maintenance of stable medium-density residential neighborhoods. The medium-density residential designation includes a mixture of single- and multi-family structure types.

4.01.01 Density and Housing Types

Table 4.01.01. Density and Housing Types in Base Zoning Districts.

Zoning District	Maximum Gross Density (dwelling units per acre)	Permissible Housing Types
R-1	4.0	Single-family detached
R-2	8.0	Single-family detached Duplex structures Triplex structures Townhouses
R-3	10.0	Single-family detached Duplex structures Triplex structures Townhouses

Table 4.02.03(E). Standards for Building Heights and Setbacks

Zoning District	Maximum Building Height (ft.)	Minimum Setback			
		Front (ft.)	Side ²	Rear (ft.)	Corner Lot (side abutting street) (ft.)
R-2	35	25	10% of lot width	20	15

2. Each side yard setback shall be increased by one-half (½) foot for each one (1) foot, or fraction thereof, of building heights above twenty-five (25) feet.

CITY OF FERNANDINA BEACH DOWNTOWN HISTORIC DISTRICT DESIGN GUIDELINES: NEW ADDITIONS

New additions should be designed and constructed so that the character-defining features of the historic building are not radically changed, obscured, or destroyed in the process of rehabilitation. The new design should complement the original historic building and still be distinguishable. Do not try to copy the original design.

1. *Before building an addition, attempt to accommodate needed functions within the existing building.*
2. *Limit the size of new additions so as not to overwhelm the historic building.*
3. *Respect the scale, massing, materials, and window spacing of the historic building.*
4. *Do not attempt to duplicate form, material, style, wall plane, roofline, cornice height; the new addition should not appear to be part of the historic building.*
5. *Use contemporary designs for new work or reference design motifs from the historic building.*
6. *Respect the existing historic character of surrounding buildings in the district and insure that the new addition will complement this historic character.*
7. *Place new additions on rear or side elevations where not visible from the street.*

ANALYSIS:

This 2-story masonry vernacular contributing structure dates to 1884 according to the Florida Master Site File (Exhibit 3). It first appears on the Sanborn Fire Insurance Maps in 1891 (Exhibit 2). The home is notable for its simple front-facing gable design. The Florida Master Site File indicates that the home had been significantly altered by the removal of the original porch. Since then, a more historically accurate front porch has been added.

The applicant is proposing to construct a new structure that will serve as a garage and workshop at the ground level and have a dwelling unit at the second floor. There will be a new entry feature created between the contributing historic structure and the new structure. This covered entry tower will have a fenced courtyard at the ground level, stairs leading to the 2nd floor dwelling unit, and entry hall and covered deck at the second floor.

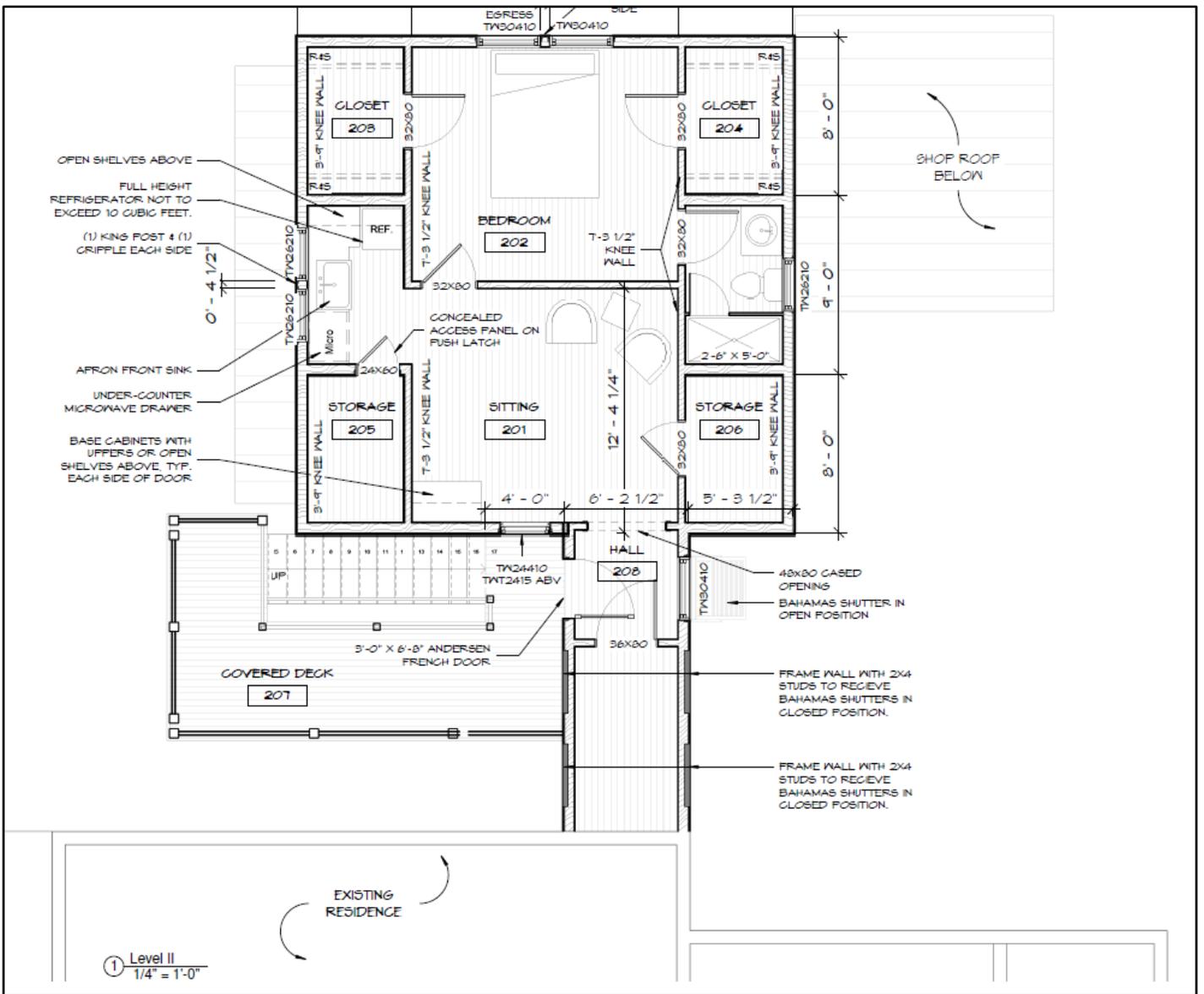
Work being proposed to the contributing structure includes creating a 1-story, 323 sq. ft. addition at the northeast corner of the home by enclosing a screened porch; removing the front-facing porch steps and creating new steps at the north end of the porch; and creating an arbor structure that will connect the old and new sections of the building.

The materials used in the new construction will be compatible with those of the historic structure, while still differentiating the new sections of the building from the historic. The siding will be Hardie lap siding painted white and the roof will be a galvanized metal painted dark green. The windows used in the new construction will be Anderson 400 series double-hung windows, while the enclosure of the screen room on the contributing structure will feature Hope's Jamestown 175 series galvanized steel casement windows. False Bahama shutters will be used on the connecting element of the stair tower to create the impression of windows and the rear window of the connector will feature an operable Bahama shutter. The exterior doors will be Anderson arched French doors. The sidewalks will be red brick to match the existing and new sections of fencing will be wood picket painted white to match existing.

The applicant has requested that this new construction be considered as a duplex. Staff has determined that this is permissible since the entire building will be contained under one roof. The property is zoned R-2 and has an allowable maximum density of two (2) dwelling units. This new structure would not meet the requirements of the Land Development Code for size and siting if it were reviewed as an accessory dwelling unit, nor would it be able to be rented. As a duplex, it may be rented, and will be required to be on its own separate water and electric meter. It will also be subject to applicable impact fees.

Staff comments to the applicant at the pre-application meeting included concerns over the size and scale of the new entry addition and the focus on the new entry structure detracting from the historic structure. Applicant will paint the new construction and a previous addition to the contributing structure white to contrast with the red brick of the contributing structure.





Staff concludes that the requested action is substantially consistent with the Land Development Code, the Secretary of the Interior's Standards, and the Downtown Historic District Guidelines and recommends **APPROVAL** of HDC 2016-24.

MOTION TO CONSIDER:

I move to **approve or deny** HDC case number 2016-24 **with or without** conditions;

AND I move that the HDC make the following findings of fact and conclusions of law part of the record:

That HDC case 2016-24, as presented, **is or is not** substantially compliant with the Land Development Code, the Downtown Historic District Guidelines, and the Secretary of the Interior's Standards to warrant approval at this time.

LIST OF EXHIBITS:

- EXHIBIT 1 HDC 2016-24 Application
- EXHIBIT 2 Sanborn Fire Insurance Map
- EXHIBIT 3 FL Master Site File NA00254


Salvatore J. Cumella
Planner II



16 SEP 2016 PM 3:46

OFFICE USE ONLY
 REC'D: 9/16 BY: (Signature)
 PAYMENT: \$ 200 TYPE CK21303
 APPLICATION #: 2016-001371
 HDC CASE #: 2016-24
 APPLICATION COMPLETE: Y ___ N ___
 PRE-CONFERENCE: Y ___ N ___ DATE _____

APPLICATION FOR HISTORIC DISTRICT COUNCIL COA

___ APPROVED ___ DENIED
 BOARD MEETING DATE: _____
 PLANNER: _____ DATE: _____

APPROVAL TYPE: Staff Approval Board Approval: Conceptual ___ or Final X

PROJECT TYPE:
 New Construction Addition Alteration Relocation Demolition Variance
 Repair Paint Fence Sign Re-roof Other: _____

PROPERTY INFORMATION
 Street Address: 120 & 124 North 3rd Street
 Historic District: Downtown Old Town CRA Waterfront
 Parcel Identification Number(s): 00-00-31-1800-0015-0060 & 00-00-31-1800-0015-0080
 Zoning District: R-2 Lot / Block Number (optional) 6-9 / 15

Owner of Record
Owner(s) Name
Corporation or Company
Street Address <u>2204 Aryness Drive</u>
City State Zip <u>Vienna, VA 22181</u>
Home Telephone Number <u>703-405-8513</u>
Fax Number
Email Address <u>ruthiebird42@gmail.com</u>

Applicant or Agent
Applicant Name
Corporation or Company <u>Cotner Associates, Inc. architects</u>
Street Address <u>9 South 3rd Street</u>
City State Zip <u>Fernandina Beach, FL 32034</u>
Home Telephone Number <u>office - 904-277-4593</u>
Fax Number <u>904-277-6734</u>
Email Address <u>john@cotnerassociates.com</u>

PROJECT DESCRIPTION

Part 1. Describe The Existing Conditions and Materials. Describe the existing structure(s) on the subject property in terms of the construction materials and site conditions, as well as the surrounding context.

Existing residence consists of red brick with red painted Hardie siding on previous additions. All windows are wood and painted dark green. Roofing is a natural galvalum metal. All existing trees will be relocated on site unless in poor health. Existing white picket fencing will remain.

Part 2. Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s). Attach further description sheets, if needed.

Addition of new garage, guest suite and covered deck with new wood connector and arbor. All existing and new Hardie siding will be painted white with dark green trim. All brick to remain red and new brick to match existing. existing screened porch is to be enclosed on side of existing residence. Proposal for new curb cut at new driveway location and removal of existing curb cut and concrete apron.

List proposed materials and colors, as applicable:

Project Scope	Type, Material, Brand	Color
Exterior Fabric	Hardie horizontal lap siding	White
Doors	Andersen arched French doors	Dk green
Windows	Andersen 400 Series dbl hung Hopes Jamestown 175 Series galv. steel	Dk green galv. steel
Roofing	Kynar coated galvanized metal smooth face	Dk green
Fascia/Trim	Hardie trim	Dk green
Foundation	N/A	
Shutters	N/A	
Porch/Deck	IPE (or similar hardwood)	Natural
Fencing	Picket to match existing	White
Driveways/Sidewalks	Brick pavers to match existing	Red
Signage	N/A	
Other		

Please submit all product brochures, paint color samples, and material samples with your application.

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

- 1. I/We hereby attest to the fact that the above supplied parcel number(s) and legal description(s) is (are) the true and proper identification of the area of this petition.
- 2. I/We authorize staff from the Community Development Department to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
- 3. I/We understand that Certificates of Approval are only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
- 4. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the HDC before work commences on those changes. There will be no charge for a revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and/or additional fees/penalties.
- 5. It is understood that the approval of this application by the Historic District Council or staff in no way constitutes approval of a Building Permit for construction from the City of Fernandina Beach Building Department.
- 6. The COA review time period will not commence until your application is deemed complete by staff and may take up to 10 days to process.
- 7. Historic District Council meetings are conducted in a quasi-judicial hearing and as such ex-parte communications are prohibited (Communication about your project with a Historic District Council member).

9/20/16
Date

[Signature]
Signature of Applicant

STATE OF FLORIDA }
 ss }
COUNTY OF NASSAU }

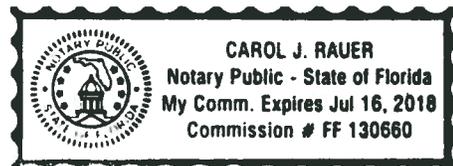
Subscribed and sworn to before me this 20th day of September, 2016.

[Signature]
Notary Public: Signature

CAROL J. RAUER
Printed Name

7/16/18
My Commission Expires

Personally Known OR Produced Identification _____ ID Produced: _____





**OWNER'S AUTHORIZATION
FOR AGENT REPRESENTATION**

I /WE Martha Spransy Engle
(print name of property owner(s))

hereby authorize: Cotner Associates, Inc. Architects
(print name of agent)

to represent me/us in processing an application for: HDC
(type of application)

on our behalf. In authorizing the agent to represent me/us, I/we, as owner/owners, attest that the application is made in good faith and that any information contained in the application is accurate and complete.

Martha Spransy Engle
(Signature of owner)

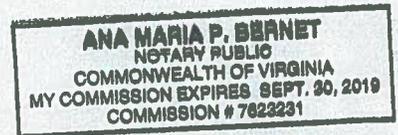
(Signature of owner)

Martha Spransy Engle
(Print name of owner)

(Print name of owner)

~~STATE OF FLORIDA~~
~~COUNTY OF NASSAU~~ ^{ss} }

State of Virginia
County of Fairfax



Subscribed and sworn to before me this 20th day of September, 2016.

Ana Maria P. Bernet
Notary Public: Signature

Ana Maria Bernet
Printed Name

7623231
My Commission Expires

Personally Known _____ OR Produced Identification _____ ID Produced: VA DL 462456621
Exp. 03.25.2020

HISTORIC DISTRICT COUNCIL APPLICATION CHECKLIST

These requirements are not inclusive of the requirements for the proposed work. The Planning Department may require additional drawings, specifications or information in order to complete the review of the application.

THE FOLLOWING MUST BE PROVIDED IN ORDER TO BE A COMPLETE APPLICATION FOR CONCEPTUAL APPROVAL BY THE BOARD:

(1 copy of each)

- Proof of ownership (copy of deed or tax statement)
- 11x17 signed, sealed, scaled survey of the property
- 11x17 scaled site plan of the proposed work, including lot dimensions, setbacks, finished floor elevations, and any changes as a result of proposed building footprints
- Photographs of the existing site and existing buildings if any, including views from the street
- Architectural renderings of the proposed work, including information on proposed materials to be utilized

THE FOLLOWING MUST BE PROVIDED IN ORDER TO BE A COMPLETE APPLICATION FOR STAFF APPROVAL OR FINAL APPROVAL BY THE BOARD:

(1 copy of each)

- Proof of ownership (copy of deed or tax statement)
- 11x17 signed, sealed, scaled survey of property
- 11x17 scaled site plan of the proposed work, including lot dimensions, setbacks, finished floor elevations, and any changes as a result of proposed building footprints
- Photographs of the existing site and existing buildings if any, including views from the street.
- 11x17 drawings to scale showing ALL existing and proposed exterior elevations of primary and/or accessory buildings:
 - North Elevation
 - South Elevation
 - East Elevation
 - West Elevation
- Commercial Projects: Elevations and/or site plan must show all proposed mechanical and plumbing equipment (HVAC, hood vents, backflow preventers, etc.)
- Product/material details and specifications, including brochures or printouts, for any proposed material as applicable and not limited to: doors, windows, roofing, exterior fabric, fascia/trim, shutters, fencing, sidewalk/driveway, landscaping, foundation, porch/deck, sheds, and proposed colors for ALL surfaces to be painted/stained/treated.

For Board review cases, you will receive a staff report approximately one week before your meeting.



'16 SEP 20 PM3:46

LETTER OF TRANSMITTAL

To: Sal Cumella, Planner
Company: The City of Fernandina Beach, HDC
Phone:
Re: Engle Residence, 120 & 124 N 3rd Street
Project #: 161493.00
From: John M. Cotner, AIA
Date: September 20, 2016
Pages excluding cover:
Sent via: Deliver

Please find:

Check# 21303 for \$200.00 submittal fee
Completed HDC application
Proof of ownership including Warranty deeds
Copy of survey
Photos of property
11x17 plans including site plan
Cut sheets for products to be used including Exterior door, garage doors, exterior light fixture

Plans include:

- 1) Cover sheet
- 2) A-1 Site plan & Code info
- 3) A-4 Level I floor plan
- 4) A-5 Level II floor plan
- 5) A-6 West & South elevations
- 6) A-7 East & North elevations
- 7) A-10 Perspectives

NASSAU

A. Michael Hickox, CFA, Cert.Res.RD1941
Nassau County Property Appraiser

Property Search Sales Search Nassau Home

OWNER NAME	ENGLE-HOWARD MARTHA S	PARCEL NUMBER	00-00-31-1800-0015-0080
MAILING ADDRESS	2204 ARYNESS DR	TAX DISTRICT	FERNANDINA BEACH (DISTRICT 2)
		MILLAGE	20.6524
	VIENNA, VA 22181	PROPERTY USAGE	VACANT RESIDENTIAL
LOCATION ADDRESS	124 N 3RD ST	DEED ACRES	0
	FERNANDINA BEACH 32034	HOMESTEAD	N
SHORT LEGAL	BLOCK 15 LOTS 8 & 9 IN OR 1282/1321 ESMT IN OR 512/995	PARCEL MAP RECORD	MAP THIS PARCEL
		TAX COLLECTOR SEARCH	NASSAU TAX COLLECTOR LINK
		PROPERTY RECORD CARD	LINK TO PROPERTY RECORD CARD (PDF)

2016 Preliminary Values

JUST VALUE OF LAND	\$76,300
LAND VALUE AGRICULTURAL	\$0
TOTAL BUILDING VALUE	\$0
TOTAL MISC VALUE	\$0
JUST OR CLASSIFIED TOTAL VALUE	\$76,300
ASSESSED VALUE	\$76,300
EXEMPT VALUE	\$0
TAXABLE VALUE	\$76,300

Land Information

LAND USE	LAND UNITS	LAND UNIT TYPE	SEC-TWN-RNG
VAC RES 000000	50	FF	21-3N-28

Building Information

There is no Building Information for this record.

Miscellaneous Information

There is no Miscellaneous Information for this record.

Sales Information

SALE DATE	BOOK / PAGE	BOOK / PAGE	PRICE	INSTRUMENT	QUALIFICATION	IMPROVED? (AT TIME OF SALE)	GRANTOR	GRANTEE
12/21/2004	1282/1321	1282/1321	90000	WD	Q	N	BEVILLE KATHERINE D MANN &	ENGLE-HOWARD MARTHA S
12/21/2004	1282/1318	1282/1318	100	QC	U	Y	DURHAM DOROTHY HENDERSON	BEVILLE KATHERINE D ETAL
12/21/2004	1282/1319	1282/1319	100	QC	U	Y	SAHLMAN CHARLES WESLEY	BEVILLE KATHERINE ETAL
03/31/2003	1125/1183	1125/1183	100	QC	U	Y	DURHAM DOROTHY H L/E	BEVILLE KATHERINE & MELBA D KENISON
07/01/1984	426/46	426/46	100	LE	U	Y		



THIS INSTRUMENT PREPARED BY:

JACOBS & ASSOCIATES, P.A.
961687 Gateway Boulevard, Suite 201-I
Fernandina Beach, Florida 32034

INSTR # 200442980
OR BK 01282 PGS 1321-1322
RECORDED 12/21/2004 11:23:08 AM
J. M. OXLEY JR
CLERK OF CIRCUIT COURT
NASSAU COUNTY, FLORIDA
DOC TAX PD (F.S. 201.02) 630.00
RECORDING FEES 18.50

RECORDED AND RETURN TO:
JACOBS & ASSOCIATES, P.A.
961687 Gateway Blvd., Suite 201-I
Fernandina Beach, Florida 32034

RE PARCEL ID #: 00-00-31-1800-0015-0080
FILE NUMBER: 2004273-howard

WARRANTY DEED

THIS WARRANTY DEED, dated 8th Day of December, 2004 by Katherine D. Mann Beville and Melba D. Kenison Henson F/K/A Melba D. Kenison, hereinafter called GRANTOR, whose address is 6801 N. 54th Street, Tampa, FL 33610, to Martha S. Engle- Howard, hereinafter called GRANTEE and whose address is 2204 Aryness Dr., Vienna, VA 22181.

(Wherever used herein the terms "Grantor" and "Grantee" include all parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

WITNESSETH:

THAT the Grantor, for and in consideration of the sum of Ten and NO/100 Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate in Nassau County, Florida, viz:

All of those certain lots, pieces or parcels of land situate, lying and being in the City of Fernandina Beach (formerly City of Fernandina), County of Nassau and State of Florida and more particularly described according to the official plat of said City (as lithographed and issued by the Florida Railroad Company in 1857, and enlarged, revised and reissued by the Florida Town Improvement Company in 1887 and 1901) as:

Lots Eight (8) and Nine (9), Block Fifteen (15).

Recording 18.50
I. S. Stamps 630.00
I. S. Tax. 648.50
Total 1287.00

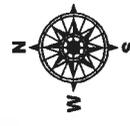
SUBJECT TO covenants, restrictions, easements and agreements of record, if any; taxes and assessments for the year 2002 and subsequent years; and to all applicable zoning ordinances and/or restrictions and prohibitions imposed by governmental authorities, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND THE GRANTOR hereby covenants with said Grantee that except as above noted, the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.

SIGNATURES AND NOTARY ACKNOWLEDGEMENT ON FOLLOWING PAGE



Sources: Esri, HERE, DeLorme, USGS, Intermap, increment P Corp., NRCRA
Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand), MapmyIndia,
OpenStreetMap contributors, and the GIS User Community

IN WITNESS WHEREOF, Grantor has signed and sealed these presents the date set forth above.

SIGNED IN THE PRESENCE OF THE FOLLOWING WITNESSES:

Angela Leverett
Witness Signature

Angela Leverett
Witness Printed Signature

Roswitha D. Grane
Witness Signature

ROSWITHA A. GRANE
Witness Printed Signature

Katherine D Mann Beville
Katherine D. Mann Beville

Melba D. Kenison Henson
Melba D. Kenison Henson F/K/A Melba D. Kenison

STATE OF Florida
COUNTY OF Hillsborough

THE FOREGOING INSTRUMENT was acknowledged before me on 12/08/2004 by Katherine D. Mann Beville
as identification. B140-504-46-909-0
He/She is personally known to me or who has produced _____

Notary Public, State and County aforesaid.

Ann S. Thomas
Notary Signature

Title or Rank

ANN S. THOMAS
Notary Printed Signature



Theresa M. Jones
Witness:

Theresa C. Jones
Witness:

STATE OF Indiana
COUNTY OF Marion

THE FOREGOING INSTRUMENT was acknowledged before me on 12/1/04 by Melba D. Kenison Henson F/K/A Melba D. Kenison. She is personally known to me or has produced Divers Lic. as identification. DL: 8907-99-1091

Notary Public State and County Aforesaid.

Michael Paul Matlock
Notary Signature

Title or Rank

Michael Paul Matlock
Notary Printed Signature

(Serial No., if any)

Exp: 9/14/2011

NASSAU

A. Michael Hickox, CFA, Cert.Res.RD1941
Nassau County Property Appraiser

Property Search Sales Search Nassau Home

OWNER NAME	HOWARD JOHN L &	PARCEL NUMBER	00-00-31-1800-0015-0060
MAILING ADDRESS	ENGLE-HOWARD MARTHA S (H&W) 2204 ARYNESS DR	TAX DISTRICT	FERNANDINA BEACH (DISTRICT 2)
LOCATION ADDRESS	VIENNA, VA 22181 120 3RD ST N (UNIT) U&D	MILLAGE	20.6524
SHORT LEGAL	FERNANDINA BEACH 32034 BLOCK 15 LOTS 6 & 7 IN OR 1196/1729 CITY OF FDNA BEACH	PROPERTY USAGE	MULTI-FAMILY
		DEED ACRES	0
		HOMESTEAD	N
		PARCEL MAP RECORD	MAP THIS PARCEL
		TAX COLLECTOR SEARCH	NASSAU TAX COLLECTOR LINK
		PROPERTY RECORD CARD	LINK TO PROPERTY RECORD CARD (PDF)

2016 Preliminary Values

JUST VALUE OF LAND	\$76,300
LAND VALUE AGRICULTURAL	\$0
TOTAL BUILDING VALUE	\$236,242
TOTAL MISC VALUE	\$10,059
JUST OR CLASSIFIED TOTAL VALUE	\$322,601
ASSESSED VALUE	\$276,322
EXEMPT VALUE	\$0
TAXABLE VALUE	\$276,322

Land Information

LAND USE	LAND UNITS	LAND UNIT TYPE	SEC-TWN-RNG
MULTI-FAM 000800	50	FF	21-3N-28

Building Information

TYPE	TOTAL AREA	HEATED AREA	BED ROOMS	BATHS	PRIMARY EXTERIOR	SECONDARY EXTERIOR	HEATING	COOLING	ACTUAL YEAR BUILT	BUILDING SKETCH
DUPLEX RES	4,032	3,370	3	3	ABOVE AVG.	COMMON BRK	AIR DUCTED	FORCED AIR	1900	SHOW SKETCH

Miscellaneous Information

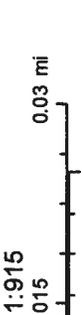
DESCRIPTION	DIMENSIONS L x W	UNITS	YEAR BUILT
WD DECK A	4 X 3	12	2005
WD DECK A	0 X 0	695	1997
FP-PRFB-GD	0 X 0	1	2005
SCULP CONC	0 X 0	735	2005
BRICK	13 X 4	52	1997

Sales Information

SALE DATE	BOOK / PAGE	BOOK / PAGE	PRICE	INSTRUMENT	QUALIFICATION	IMPROVED? (AT TIME OF SALE)	GRANTOR	GRANTEE
12/22/2003	1196/1729	1196/1729	305000	WD	Q	Y	MCLAUCHLAN LUCY F	HOWARD JOHN L & MARTHA S ENGLE-HOWARD
07/17/2002	1069/237	1069/237	100	TD	U	Y	MCLAUCHLAN LUCY F TRUST AGRMT	MCLAUCHLAN LUCY F
05/12/1994	704/671	704/671	147500	WD	Q	Y	FLYNN PAUL & JOAN	TRUST CO BANK AS TRUSTEE WITH LUCY F MCLAUCHL
11/22/1991	641/1274	641/1274	134000	WD	U	Y	SHAW STEVEN & RONDA	FLYNN PAUL & JOAN
11/02/1990	611/622	611/622	60500	WD	Q	Y	BECK DONALD & AMY C	SHAW STEVEN & RONDA
06/01/1987	519/48	519/48	54900	WD	Q	Y	BURNS JAMES & PAUL	BECK DONALD & AMY C
07/01/1986	493/296	493/296	32500	WD	Q	Y		
10/01/1985	471/549	471/549	30000	WD	Q	Y		



september 19, 2016



Sources: Esri, HERE, DeLorme, USGS, Intermap, increment P Corp., NRCRA
Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand), MapInfo, Inc.,
OpenStreetMap contributors, and the GIS User Community

THIS INSTRUMENT PREPARED BY:

JACOBS & ASSOCIATES, P.A.
401 Centre Street, Second Floor
Fernandina Beach, Florida 32034

RECORDED AND RETURN TO:

RE PARCEL ID #: 00 00 31 1800 0015 0060
FILE NUMBER: 2003582-howard

Recording
Doc stands
\$ 10.50
\$ 2135.00
\$ 2145.50



INSTR # 200345751
OR BK 01196 PGS 1729-1730
RECORDED 12/22/2003 09:59:21 AM
J. M. OXLEY JR
CLERK OF CIRCUIT COURT
NASSAU COUNTY, FLORIDA
DOC TAX PD (F.S. 201.02) 2,135.00
RECORDING FEES 10.50

WARRANTY DEED

THIS WARRANTY DEED, dated 17th Day of December, 2003 by Lucy F. McLauchlan, hereinafter called GRANTOR, whose address is P. O. Box 871, Fernandina Beach, FL 32035, to John L. Howard and Martha S. Engle- Howard, husband and wife, hereinafter called GRANTEE and whose address is 2204 Arynness Drive, Vienna, VA 22181.

(Wherever used herein the terms "Grantor" and "Grantee" include all parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

WITNESSETH:

THAT the Grantor, for and in consideration of the sum of Ten and NO/100 Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate in Nassau County, Florida, viz:

All that certain lot, piece or parcel of land situate, lying and being in the City of Fernandina Beach, (formerly named Fernandina), County of Nassau and State of Florida and being described according to the official map or plat of said City (as lithographed and issued by the Florida Railroad Company in 1857 and enlarged, revised and reissued by the Florida Town Improvement Company in 1887 and 1901) as: Lots Six (6) and Seven (7), Block Fifteen (15), together with Easement recorded in Official Records Book 512, Page 995, public records of Nassau County, Florida.

SUBJECT TO covenants, restrictions, easements and agreements of record, if any; taxes and assessments for the year 2002 and subsequent years; and to all applicable zoning ordinances and/or restrictions and prohibitions imposed by governmental authorities, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND THE GRANTOR hereby covenants with said Grantee that except as above noted, the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has signed and sealed these presents the date set forth above.

SIGNED IN THE PRESENCE OF THE FOLLOWING WITNESSES:

Brenda G. Stivers
Witness Signature

Lucy F. McLauchlan
Lucy F. McLauchlan

BRENDA G. STIVERS
Witness Printed Signature

Sarah F. Adams
Witness Signature

SARAH F. ADAMS

Witness Printed Signature

STATE OF Florida
COUNTY OF Nassau

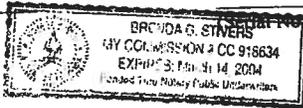
THE FOREGOING INSTRUMENT was acknowledged before me on 12/17/2003 by Lucy F. McLauchlan. He/She is personally known to me or who has produced _____ as identification.

Notary Public, State and County aforesaid.

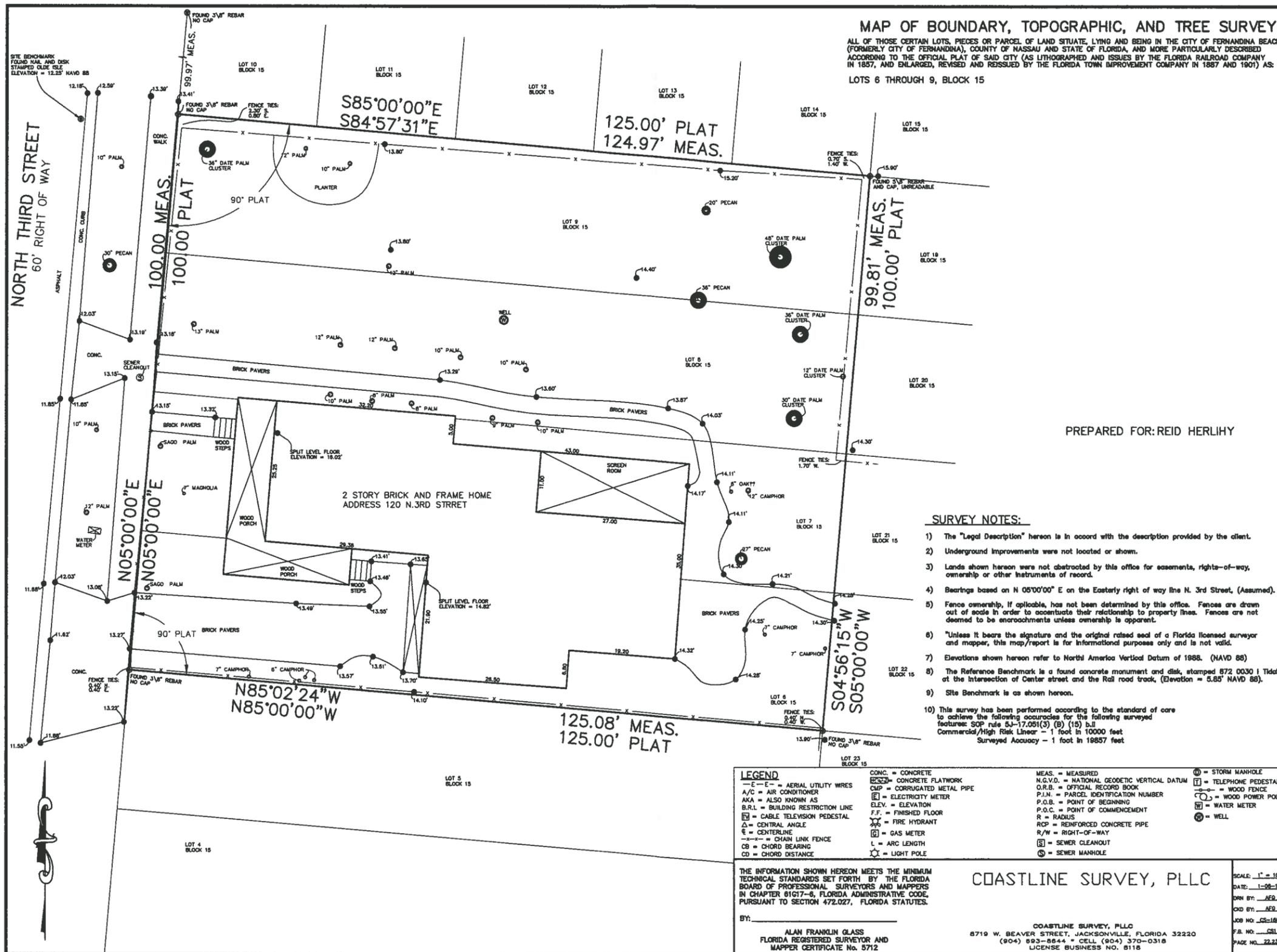
Brenda G. Stivers
Notary Signature

Title or Rank

Notary Printed Signature



(Type in full if any)



MAP OF BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY
 ALL OF THOSE CERTAIN LOTS, PIECES OR PARCEL OF LAND SITUATE LYING AND BEING IN THE CITY OF FERNANDINA BEACH (FORMERLY CITY OF FERNANDINA), COUNTY OF NASSAU AND STATE OF FLORIDA, AND MORE PARTICULARLY DESCRIBED ACCORDING TO THE OFFICIAL PLAT OF SAID CITY (AS LITHOGRAPHED AND ISSUED BY THE FLORIDA RAILROAD COMPANY IN 1887, AND ENLARGED, REVISED AND REISSUED BY THE FLORIDA TOWN IMPROVEMENT COMPANY IN 1887 AND 1901) AS:
 LOTS 6 THROUGH 9, BLOCK 15

PREPARED FOR: REID HERLIHY

SURVEY NOTES:

- 1) The "Legal Description" hereon is in accord with the description provided by the client.
- 2) Underground Improvements were not located or shown.
- 3) Lands shown hereon were not abstracted by this office for easements, rights-of-way, ownership or other instruments of record.
- 4) Bearings based on N 05°00'00" E on the Easterly right of way line N. 3rd Street, (Assumed).
- 5) Fence ownership, if applicable, has not been determined by this office. Fences are drawn out of scale in order to accentuate their relationships to property lines. Fences are not deemed to be encroachments unless ownership is apparent.
- 6) "Unless it bears the signature and the original raised seal of a Florida licensed surveyor and mapper, this map/report is for informational purposes only and is not valid.
- 7) Elevations shown hereon refer to North America Vertical Datum of 1988. (NAVD 88)
- 8) The Reference Benchmark is a found concrete monument and disk, stamped 872 0030 1 Tidal at the intersection of Center street and the Rail road track, (Elevation = 5.85' NAVD 88).
- 9) Site Benchmark is as shown hereon.
- 10) This survey has been performed according to the standard of care to achieve the following accuracies for the following surveyed features: SOP rule 5J-17.05(3) (B) (15) b.II
 Commercial/High Risk Linear - 1 foot in 10000 feet
 Surveyed Accuracy - 1 foot in 19857 feet

LEGEND ---E---E--- = AERIAL UTILITY WIRES A/C = AIR CONDITIONER AKA = ALSO KNOWN AS B.R.L. = BUILDING RESTRICTION LINE [] = CABLE TELEVISION PEDESTAL Δ = CENTRAL ANGLE E = CENTERLINE ---x--- = CHAIN LINK FENCE CS = CHORD BEARING CD = CHORD DISTANCE CONC. = CONCRETE [] = CONCRETE FLATWORK CMP = CORRUGATED METAL PIPE [] = ELECTRICITY METER ELEV. = ELEVATION F.F. = FINISHED FLOOR [] = FIRE HYDRANT [] = GAS METER ---x--- = CHAIN LINK FENCE L = ARC LENGTH CD = CHORD DISTANCE	MEAS. = MEASURED N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM O.R.B. = OFFICIAL RECORD BOOK P.I.N. = PARCEL IDENTIFICATION NUMBER P.O.B. = POINT OF BEGINNING P.O.C. = POINT OF COMMENCEMENT R = RADIUS RCP = REINFORCED CONCRETE PIPE R/W = RIGHT-OF-WAY [] = SEWER CLEANOUT [] = SEWER MANHOLE [] = STORM MANHOLE [] = TELEPHONE PEDESTAL [] = WOOD FENCE [] = WOOD POWER POLE [] = WATER METER [] = WELL
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

THE INFORMATION SHOWN HEREON MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 91G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

BY: _____
 ALAN FRANKLIN GLASS
 FLORIDA REGISTERED SURVEYOR AND MAPPER CERTIFICATE No. 5712

COASTLINE SURVEY, PLLC
 8719 W. BEAVER STREET, JACKSONVILLE, FLORIDA 32220
 (904) 893-8644 • CELL (904) 370-0318
 LICENSE BUSINESS NO. 8118

SCALE: 1" = 10'
 DATE: 1-28-18
 DRN BY: AFG
 CND BY: AFG
 JOB NO.: CS-1801
 F.S. NO.: CSI
 PAGE NO.: 22.23









Search

Home / Products / Panel Doors / TS Series Door Styles / TS2180

TS2180

Contemporary French Country Traditional

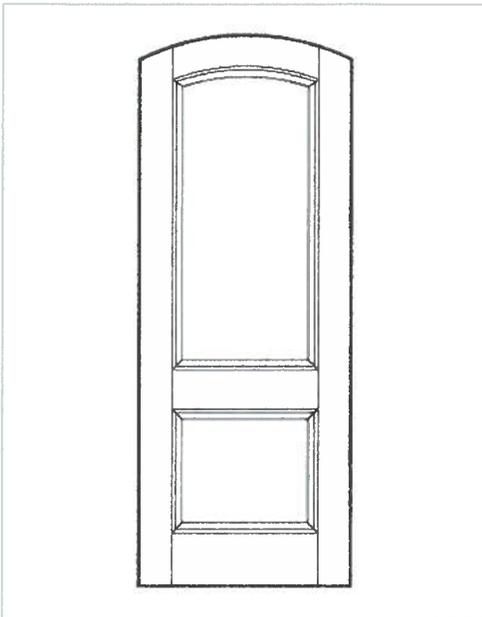
OVERVIEW PROFILES WOOD SPECIES GLASS LEATHER METAL

Where to Buy

Search by City & State or Zip

Homeowner Build Professional

Search



Series:	TruStile (TS) Series
Application:	Interior, Exterior
Thickness:	1-3/8", 1-3/4", 2-1/4"
Construction:	TruStile MDF TruStile Wood TruStile Reserve Wood
Available Fire Rating:	20 45 60 90

TS2170
Previous Door

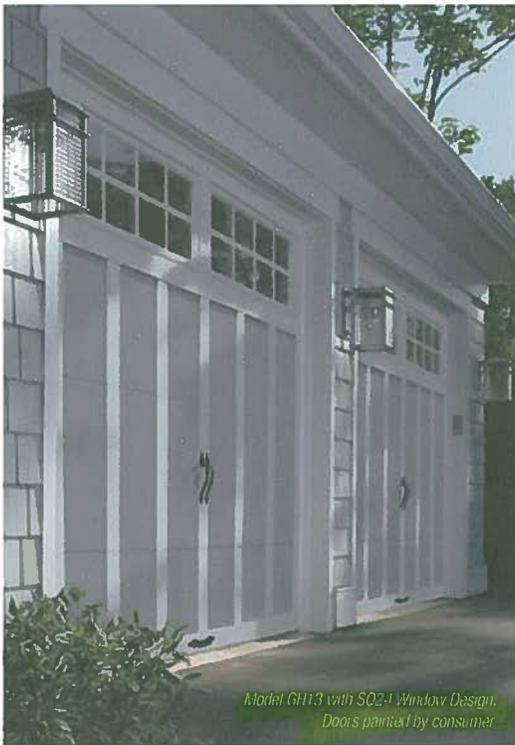
TS2190
Next Door

*Model GH21, XA2-4 Faux Top Section, Standard White Overlay,
Spade Lift Handles and Step Plates. Doors painted by consumer.*



carriage house LOOKS

for LESS



*Model GH13 with SQ2-1 Window Design,
Doors painted by consumer*

The Grand Harbor® Collection

**Enhance the classic details of your home
without breaking your budget.**

When budget is the deciding factor, this low-maintenance, insulation-optional steel frame carriage house style garage door combines clean lines and classic charm to provide a popular style at a great value.

Accented with decorative black wrought iron hardware, these doors have the appearance of a swing-out door, but offer the convenience of modern overhead operation.



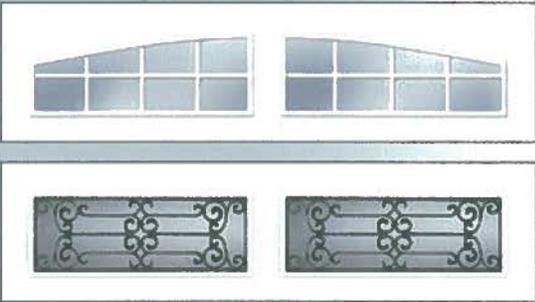
Solid Top Sections

Solid top sections in rectangular, square and arch designs provide more design options to complement new home styles.



Faux Top Sections

Faux top sections create the illusion of a window by using a solid dark gray steel background with arch, square and rectangular grille overlays. Provides added security while creating the appearance of a real window.



Glazed Top Sections

Glazed top sections in clear or obscure glass and snap-in grilles create square and rectangular designs. Wrought iron windows feature a black iron-look design on a "seeded" look acrylic that provides an Old World European style to complement light fixtures, entry doors and other decorative features.

Glazed top sections (windows) NOT available in 15'0" and 15'6" width doors.

Note: All glazed top sections available up to WINDCODE® W1. Short glazed top sections, SQ22, Plain Short and Wrought Iron Short (WIS) available up to WINDCODE® W6. Contact your local dealer for door width restrictions.

Door Designs

SERIES 1			
	Design 11	Design 12	Design 13
SERIES 2			
	Design 21	Design 22	
SERIES 3			
	Design 31	Design 36	
SERIES 4			
	Design 41		

All door designs shown with a solid TOP11 Design; additional top sections are shown below.

Top/Window Sections

SERIES 1 & SERIES 2		
TOP11	TOP12	Wrought Iron Short
TOP13	ARCH1	Wrought Iron Long
XG14	XG24	XA24
Plain Short	REC12	SQ22
Plain Long	REC14	SQ24
ARCH1	GRVA1	GRLA1
SERIES 3 & SERIES 4		
TOP11	ARCH1	

Additional double width door designs available.

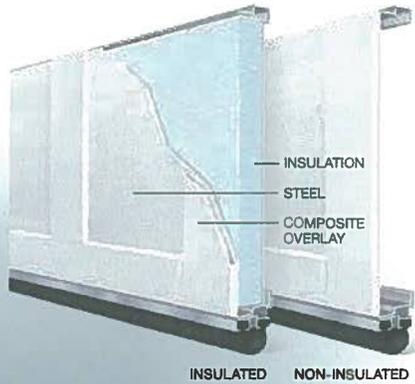
Durable Construction

OPTIONAL INSULATION

1 5/8"
VINYL-BACKED
INSULATION

EFFICIENCY
6.3
R-VALUE

Calculated door section R-value is in accordance with DASMA TDS-163.



- 24 gauge 2" steel frame construction with 1/2" composite overlay for long-lasting performance and durability.
- Optional 1-5/8" vinyl-backed insulation improves energy efficiency. 6.3 R-value.
- Galvanized torsion springs are attractive and longer lasting.
- Nylon rollers are durable and quiet.
- Rust-resistant, aluminum bottom weatherseal retainer and vinyl astragal help seal out the elements.

Beauty and Design

- Four design series, eight models.
- Glazed top sections in clear or obscure glass and snap-in grilles create square and rectangular designs. Optional faux windows and wrought iron windows.
- Decorative black powder coated spade design lift handles and step plate provide the finishing touch. Optional outside keyed lock and strap hinges maintain the authentic carriage house style designs.
- UV-protected standard white composite square-edged overlay with smooth finish.

Size Availability

	Series 1	Series 2	Series 3	Series 4
Door Height	Models	Models	Models	Model
	GH11, GH12, GH13	GH21, GH22	GH31, GH36	GH41
6'6" to 8'0"	■	■	■	■
8'6" to 12'0"	■		■	■

Door heights available in 6" increments.

Door Width (All Models) 8'0", 9'0", 15'0", 15'6", 16'0", 18'0"
*Glazed top sections (windows) NOT available in 15'0" and 15'6" width doors.



For more detailed product specification information or availability of our Grand Harbor® Collection Garage Doors, please contact your Clipay Dealer. To locate a dealer to help you select the right door for your home, just go to www.clipaydoor.com/dealer or call 1-800-2CLOPAY (225-6729).

Follow us on

Colors



Standard White Almond Desert Tan Sandtone

Due to the printing process, colors may vary.

- Four hot-dipped galvanized woodgrain textured steel base door colors: Standard White, Almond, Desert Tan and Sandtone. Overlay available in Standard White only.
- Can be painted using a high-quality exterior latex paint. Base door and overlays can be painted dark colors with a Light Reflective Value (LRV) of 8 or higher. Contact paint manufacturer for LRV reading.

Decorative Hardware



PAINT SYSTEM LIMITED LIFETIME WARRANTY	WINDOW & OVERLAY DISCOLORATION LIMITED 10 YEAR WARRANTY	OVERLAY DELAMINATION LIMITED 5 YEAR WARRANTY	HARDWARE LIMITED 3 YEAR WARRANTY
--------------------------------------------------------	----------------------------------------------------------------------------	-----------------------------------------------------------------	--------------------------------------------------



Clipay is committed to designing, manufacturing and distributing garage doors that enhance the beauty, safety and value of your home while minimizing the impact on the environment.

Steel doors and hardware are impervious to moisture and will not rot, warp, crack or fade, and the steel used in Clipay's doors is made from over 75% recycled content. All Clipay doors are made in the U.S., minimizing shipping, damage and handling.

Visit our website for more details on Clipay's green practices.
clipaydoor.com/green.aspx

NPower Multi-Mount Warehouse Barn Light — 12in. Dia., Forest Green, 100 Watts, Model# 23201096-G

Item# 38714 ★★★★★ | [2 Answered Questions](#)

[See All Product Options](#)



Tap image to enlarge

[+] [What do you think of our product images?](#)

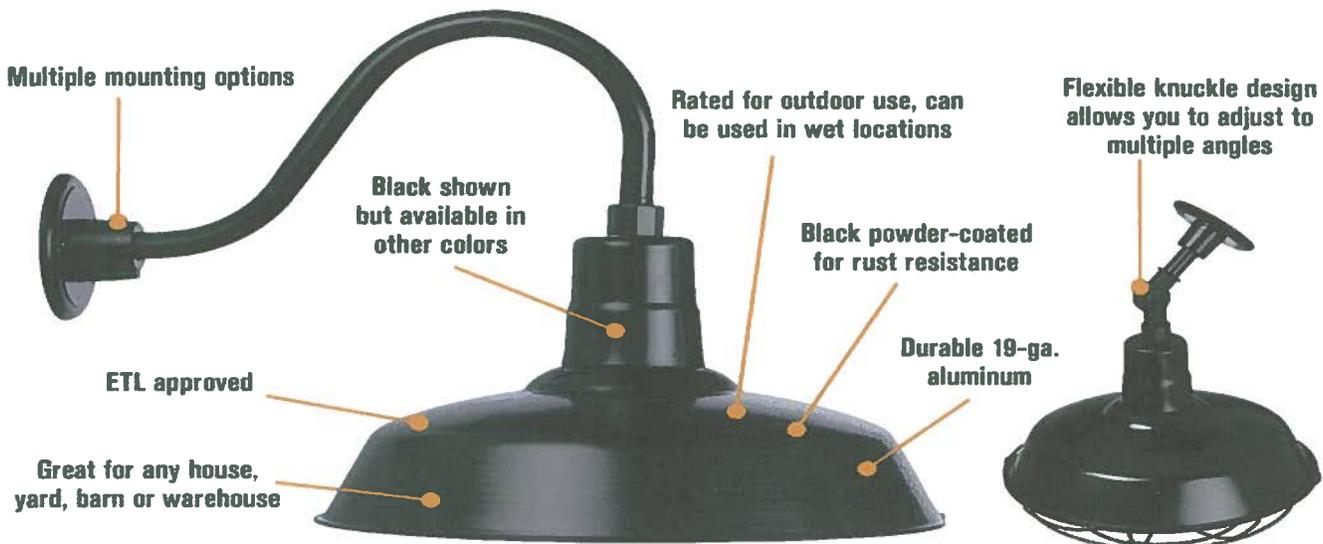
Product Summary

This NPower 12in. dia. Multi-Mount Warehouse Barn Light comes with multiple mounting options for any location. Great for any house, barn, yard or warehouse. Use the rigid-mount back plate with the gooseneck arm for a stylish wall mount or choose one of the stems for a high or low suspended light from a level ceiling. The beveled mount lets you use the chain alone or with one of the stems for high or low suspended lighting from an angled ceiling. Rated for outdoor use.

What's Included

(1) 12in. barn light

Features + Benefits



Only \$129⁹⁹

- Multiple mounting options give you the flexibility for use in a very wide range of applications
- Durable 19-ga. aluminum lamp cover is powder-coated for rust resistance
- 110V
- Rated for outdoor use, can even be mounted in wet locations
- Uses one standard E26 bulb up to 100 Watts (not included)

[See more details](#)

[In Stock Online](#)

Not Available in Stores

- Multiple mounting options give you the flexibility for use in a very wide range of applications
- Durable 19-ga. aluminum lamp cover is powder-coated for rust resistance
- 110V

- Rated for outdoor use, can even be mounted in wet locations
- Uses one standard E26 bulb up to 100 Watts (not included)
- 4 3/4in. dia. mounting plate

Chat

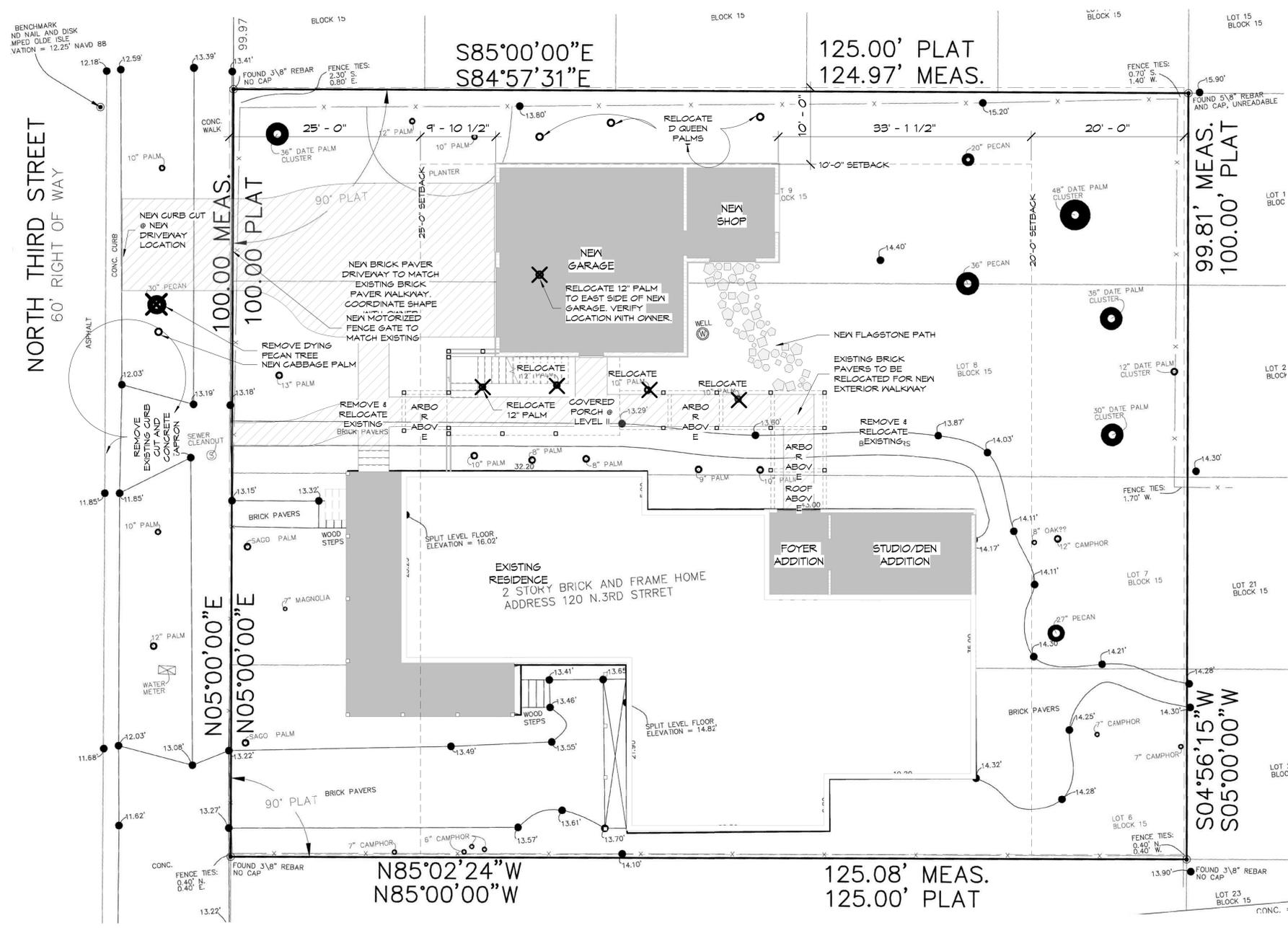
DRAWING INDEX

A-1	SITE PLAN & CODE INFO	A-9	SECTIONS & DETAILS
A-2	SPECIFICATIONS	A-10	PERSPECTIVES
A-3	SPECIFICATIONS	S-0	GENERAL NOTES
A-4	LEVEL I FLOOR PLAN	S-1	FOUNDATION PLAN
A-5	LEVEL II FLOOR PLAN	S-2	FLOOR FRAMING
A-6	WEST & NORTH ELEVATIONS	S-3	ROOF FRAMING
A-7	EAST & SOUTH ELEVATIONS	E-1	LEVEL I ELECTRICAL
A-8	SECTIONS & DETAILS	E-2	LEVEL II ELECTRICAL

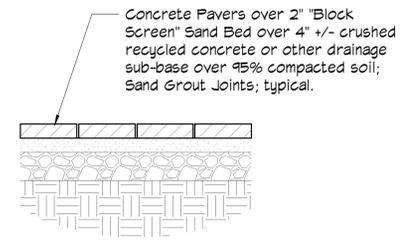


ENGLE RESIDENCE

120 & 124 N. 3RD STREET
FERNANDINA BEACH
NASSAU COUNTY, FLORIDA



1 Site Plan
1/8" = 1'-0"



3 Paver Detail
1" = 1'-0"

AREAS CALCS	
CONDITIONED AREA:	
LEVEL I:	FOYER/STUDIO ADDITION = 323 S.F.
LEVEL II:	GUEST SUITE = 843 S.F.
TOTAL	= 966 S.F.
UNCONDITIONED AREA:	
CARAGE/SHOP	= 791 S.F.
STORAGE @ LEVEL II	= 94 S.F.
TOTAL	= 885 S.F.
COVERED PORCHES & TERRACES:	
LEVEL II	= 160 S.F.
TOTAL	= 190 S.F.

WIND DESIGN / OTHER PER FBC 2014	
WIND ZONE:	128 mph
EXPOSURE:	C
IMPORTANCE FACTOR:	1
METHOD OF OPENING PROTECTION:	NA
DESIGN PRESSURE:	40 PSF OR GREATER
TYPE OF CONSTRUCTION:	V
FLOOD ZONE DESIGNATION & BASE FLOOD ELEVATION:	"X"
PROPOSED ELEVATION OF 1ST HABITABLE FLOOR:	Elev. 25'-0"
PROPOSED ELEVATION OF GROUND SLAB (IF UTILIZED):	14'-0"
PROPOSED ELEVATION OF GRADE IMMEDIATE ADJACENT TO STRUCTURE:	13'-6" AVG.
AVERAGE ROOF HEIGHT:	25'-0" MAX ROOF PEAK
NUMBER OF STORIES:	TWO
ZONING DESIGNATION:	R-2
SETBACKS PER ZONING:	Front: 25'-0" / Side: 10'-0" / Rear: 20'-0"
TOTAL NEW CONDITIONED AREA:	966 sq. ft.
TOTAL NEW UNCONDITIONED AREA:	885 sq. ft.
TOTAL NEW COVERED PORCH AREA:	160 sq. ft.
LOT AREA:	12,500 sq. ft. +/-
LOT COVERAGE:	10% +/- (PLUS EXISTING)

WIND COMPLIANCE STATEMENT	
THESE DESIGN PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 16B-33.007, FLORIDA ADMINISTRATIVE CODE.	
THE MAIN WIND-FORCE RESISTING SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH CHAPTER 6, AMERICAN NATIONAL STANDARDS AMERICAN SOCIETY OF CIVIL ENGINEERS ASCE 7-10 "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES" TO WITHSTAND THE WIND LOADS ASSOCIATED WITH A MINIMUM BASIC WIND SPEED OF 120 MILES PER HOUR.	
THE COMPONENTS AND CLADDING HAVE BEEN SELECTED AND THEIR USE INCORPORATED INTO THE DESIGN AND SPECIFICATIONS IN ACCORDANCE WITH CHAPTER 6, AMERICAN NATIONAL STANDARDS AMERICAN SOCIETY OF CIVIL ENGINEERS ASCE 7-10 "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES" TO WITHSTAND THE WIND LOADS ASSOCIATED WITH A MINIMUM BASIC WIND SPEED OF 120 MILES PER HOUR.	
I HEREBY CERTIFY THAT THIS STRUCTURE, AS DESIGNED AND DETAILED BY COTNER ASSOCIATES, INC., ARCHITECTS, CONFORMS TO THE FLORIDA BUILDING CODE 2014 WIND LOAD CRITERIA AND CAN STRUCTURALLY WITHSTAND A WIND LOAD OF 120 MPH AS SPECIFIED BY THE COASTAL ZONE PROTECTION ACT OF 1988 AND AMENDED AS OF 1988.	
COTNER ASSOCIATES, INC. ARCHITECTS DOES NOT ASSUME RESPONSIBILITY FOR OMISSIONS, UNWORKMAN-LIKE PERFORMANCE OR DEVIATIONS FROM THE PLANS, SPECIFICATIONS AND DETAILS WHICH MAY OCCUR BY CONTRACTOR, SUBCONTRACTORS, OR OWNER DURING THE COURSE OF CONSTRUCTION, NOR CAN OR DOES, COTNER ASSOCIATES, INC. ARCHITECTS ASSUME RESPONSIBILITY OF EXISTING STRUCTURES TO WITHSTAND THE ABOVE CRITERIA OR THE EFFECTS THE EXISTING STRUCTURE MAY HAVE ON THE BUILDING ADDITIONS UNDER THESE CRITERIA.	
JOHN M. COTNER, A.I.A. #A00912646	DATE

Revisions	Description	Date
No.		

Issue Date	Issued To/For	Restrictions
09-01-16	Client Review	
09-20-16	IBC Application	

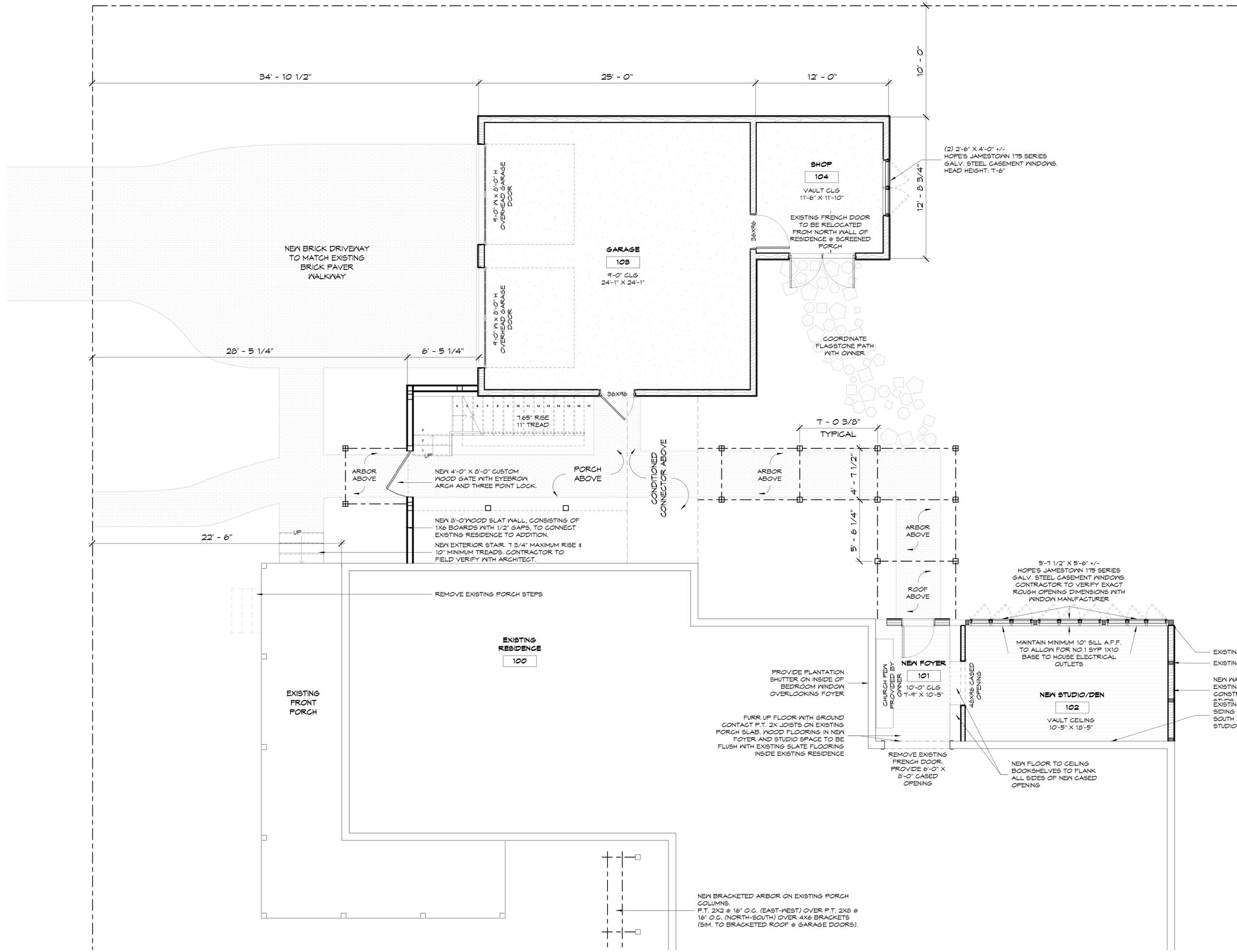
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ENGLE RESIDENCE
120 & 124 N. 3RD STREET
FERNANDINA BEACH
NASSAU COUNTY, FLORIDA

NOTE: DRAWING SCALE IS 1/2 OF SCALE LISTED IF PRINTED ON 11X17 MEDIA
Project: 161493 Released:

SITE & CODE INFO	
Plan North	Sheet Number
	A-1

Page 01 of 16



Revisions	Description	Date
No.		

Issue Date	Issued To/For	Restrictions
09-01-16	Client Review	
09-20-16	BWC Application	

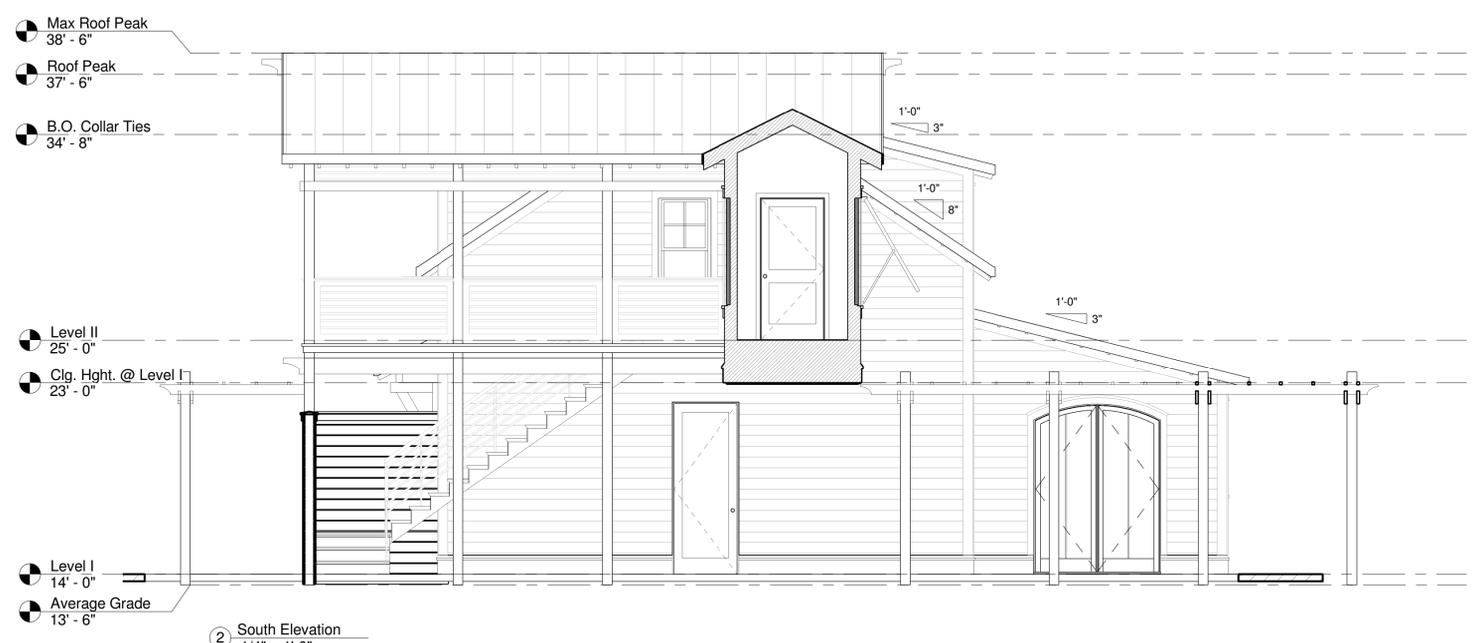
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ENGLE RESIDENCE
 120 & 124 N. 3RD STREET
 FERNANDINA BEACH
 NASSAU COUNTY, FLORIDA

- ① Level 1
 1/4" = 1'-0"
- NOTES:
1. ALL NEW EXTERIOR WINDOWS & DOORS TO BE ANDERSEN 400 SERIES WITH DESIGN PRESSURE OF 40 PSF OR GREATER, UNLESS OTHERWISE NOTED.
 2. HEAD HEIGHT ARE AS FOLLOWS, UNLESS OTHERWISE NOTED:
 - LEVEL ONE: 8'-0"
 - LEVEL TWO: 6'-8"
 3. WINDOW HEAD HEIGHTS ARE NOMINAL WINDOW HEAD HEIGHTS TO MATCH THAT OF ADJACENT DOORS, TYPICAL.
 4. STANDARD EXTERIOR ANDERSEN WINDOW AND DOOR COLOR TO BE FOREST GREEN.
 5. ALL ANDERSEN WINDOWS TO BE FULL DIVIDED LIGHT



1 West Elevation
1/4" = 1'-0"



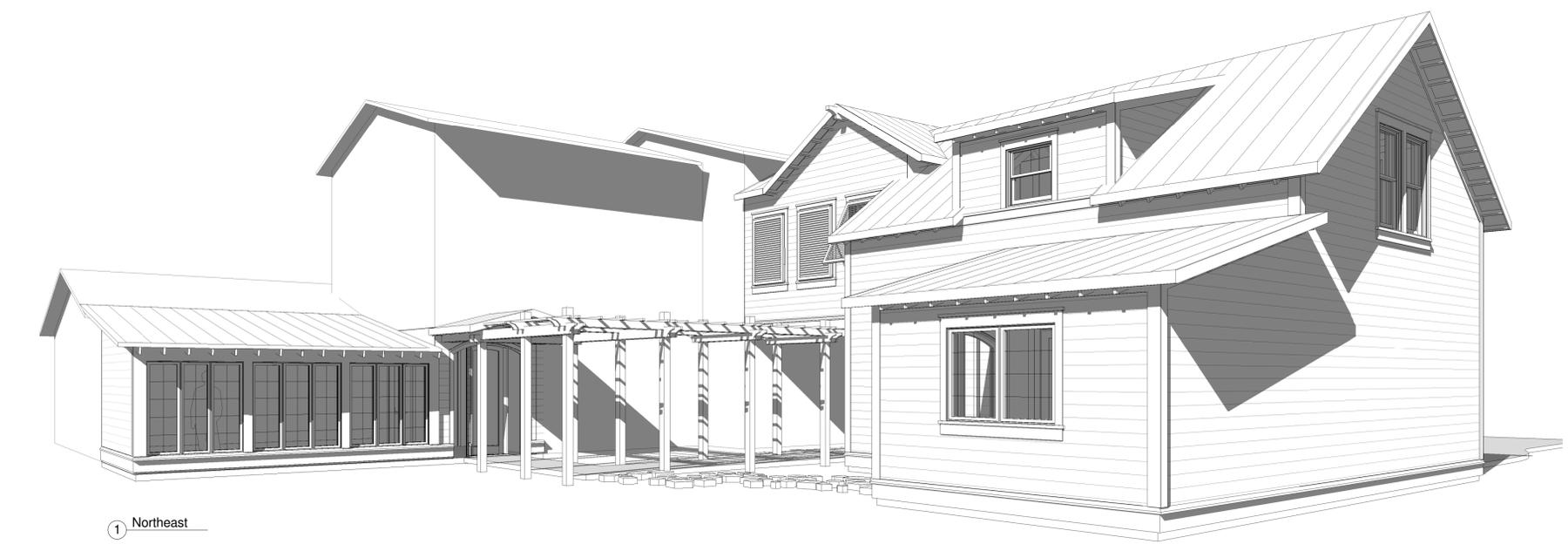
2 South Elevation
1/4" = 1'-0"

Revisions	Description	Date
No.		

Issue Date	Issued To/For	Restrictions
09-01-16	Client Review	
09-20-16	BWC Application	

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ENGLE RESIDENCE
120 & 124 N. 3RD STREET
FERNANDINA BEACH
NASSAU COUNTY, FLORIDA



① Northeast



② Northwest

Revisions No.	Description	Date

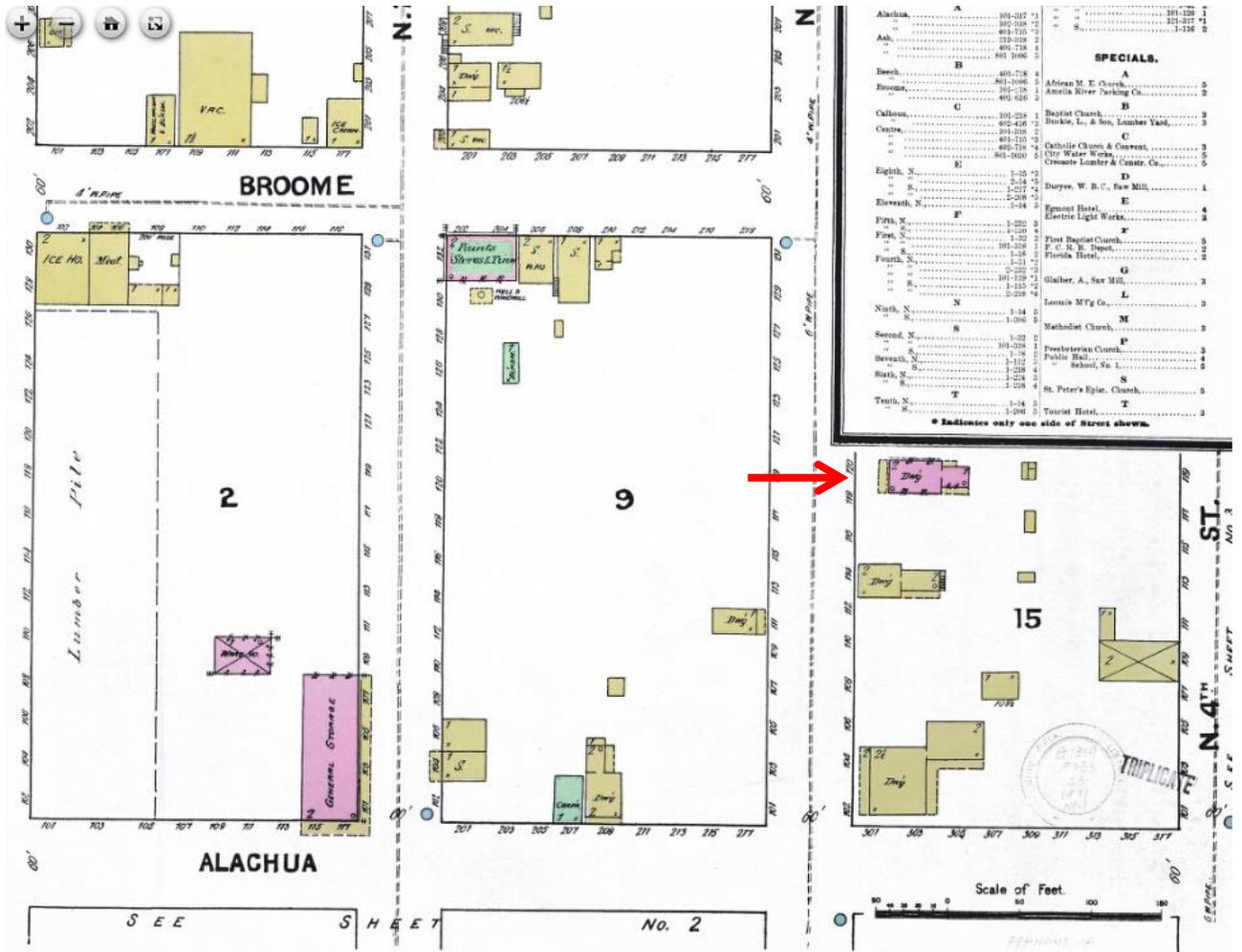
Issue Date	Issued to/for	Restrictions
09-01-16	Client Review	
09-20-16	BOC Application	

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ENGLE RESIDENCE
120 & 124 N. 3RD STREET
FERNANDINA BEACH
NASSAU COUNTY, FLORIDA

Sanborn Fire Insurance Map – 1891

Exhibit 2





HISTORICAL STRUCTURE FORM

Electronic Version 1.1.0

EXHIBIT 3

Site # NA00254
 Recorder # 94
 Field Date 3-20-07
 Form Date 3-30-07
 FormNo 200703
 FormNo = Field Date (YYYYMM)

First Site Form Recorded for this Site? NO

GENERAL INFORMATION

Site Name (address if none) 120 North 3rd St Multiple Listing (DHR only) _____
 Other Names _____ >> _____
 Survey or Project Name _____ Survey# _____
 National Register Category Building(s)

LOCATION & IDENTIFICATION

Address

Street No.	Direction	Street Name	Street Type	Direction Suffix
<u>120</u>	<u>North</u>	<u>3rd</u>	<u>Street</u>	

Cross Streets (nearest/ between) _____
 City / Town (within 3 miles) Fernandina Beach In Current City Limits? YES
 County Nassau Tax Parcel #(s) _____
 Subdivision Name _____ Block _____ Lot _____
 Ownership _____
 Name of Public Tract (e.g., park) _____
 Route to (especially if no street address) _____

MAPPING

USGS 7.5' Map Name _____ Publication Date _____ >> FERNANDINA BEACH; 2003
 Township: _____ Range: _____ Section: _____ 1/4 section: _____ >> 3N ; 28E ; 22; UNSP
 Irregular Section Name: _____
 Landgrant _____
 UTM: Zone _____ Easting _____ Northing _____
 Plat or Other Map (map's name, location) _____

DESCRIPTION

Style Masonry Vernacular Other Style _____
 Exterior Plan Irregular Other Exterior Plan _____
 Number of Stories 2
 Structural System(s) _____ >> Brick
 Other Structural System(s) _____
 Foundation Type(s) _____ >> Continuous
 Other Foundation Types _____
 Foundation Material(s) _____ >> Brick
 Other Foundation Material(s) _____
 Exterior Fabric(s) _____ >> Brick
 Other Exterior Fabric(s) _____
 Roof Type(s) _____ >> Gable
 Other Roof Type(s) _____
 Roof Material(s) _____ >> Sheet metal: 3V crimp
 Other Roof Material(s) _____
 Roof Secondary Structure(s) (dormers etc) _____ >> Gable extension
 Other Roof Secondary Structure(s) _____
 Number of Chimneys 1
 Chimney Material Brick
 Other Chimney Material(s) _____
 Chimney Location(s) south slope

HISTORICAL STRUCTURE FORM

8NA00254

DESCRIPTION (continued)

Window Descriptions 2/2

Main Entrance Description (stylistic details) _____

Porches: #open 1 #closed _____ #incised _____ Location(s) west

Porch Roof Types(s) hip

Exterior Ornament _____

Interior Plan _____

Other Interior Plan _____

Condition Good

Structure Surroundings

Commercial: _____ Residential: ALL this category

Institutional: _____ Undeveloped: _____

Ancillary Features (Number / type of outbuildings, major landscape features) _____

Archaeological Remains (describe): none

If archaeological remains are present, was an Archaeological Site Form completed? _____

Narrative Description (optional) _____

HISTORY

Construction year 1900

Architect (last name first): _____

Builder (last name first): _____

Changes in Locations or Conditions

Type of Change	Year of Change	Date Change Noted	Description of Changes
>>			

Structure Use History

Use _____ Year Use Started _____ Year Use Ended _____ >> Private residence; 1900;

Other Structure Uses _____

Ownership History (especially original owner, dates, profession, etc.) _____

RESEARCH METHODS

Research Methods _____

>> FL Master Site File-Cultural Resources

Other research methods _____

SURVEYOR'S EVALUATION OF SITE

Potentially Eligible for a Local Register? _____

Name of Local Register if Eligible _____

Individually Eligible for National Register? _____

NO

Potential Contributor to NR District? _____

YES

Area(s) of historical significance _____

>> Community planning & development

Other Historical Associations _____

Explanation of Evaluation (required) The resource contributes to the Fernandina Beach Historic District, which was listed in the NRHP in 1973 with a district boundary expansion in 1987.

HISTORICAL STRUCTURE FORM

8NA00254

DOCUMENTATION (Photos, Plans, etc.)

Photographic Negatives or Other Collections Not Filed with FMSF, Including Field Notes, Plans, other Important Documents.

Document type: _____

Maintaining Organization: _____

File or Accession #: _____

Descriptive Information: _____

>> _____

RECORDER INFORMATION

Recorder Name (Last, First) Bland, Myles

Recorder Address / Phone 7035 Phillips Hwy, Ste. 5-129 Jacksonville, Fl 904-448-4429

Recorder Affiliation Bland & Associates, Inc Other Affiliation _____

Is a Text-Only Supplement File Attached (Surveyor Only)? _____

***** MASTER SITE FILE USE ONLY *****

Cultural Resource Type: SS

Electronic Form Used: S110

Form Type Code: NORM

Form Quality Ranking: NEW

Form Status Code: SCAT

Supplement Information Status: NO SUPPLEMENT

Supplement File Status: NO SUPPLEMENT FILE

SHPO's Evaluation of Resource

_____ Date _____

FMSF Staffer: _____

Computer Entry Date: 5/6/07

Form Comments: _____

REQUIRED PAPER ATTACHMENTS

- (1) USGS 7.5" MAP WITH STRUCTURE PINPOINTED IN RED
- (2) LARGE SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, B&W, AT LEAST 3"X5"

NA00254-200703

Supplementary Printout

- > **USGS map name/year of publication or revision:**
FERNANDINA BEACH;2003

- > **Township/Range/Section/Qtr:**
3N ;28E ;22;UNSP

- > **Structural system(s):**
Brick

- > **Foundation types:**
Continuous

- > **Foundation materials:**
Brick

- > **Exterior fabrics:**
Brick

- > **Roof types:**
Gable

- > **Roof materials:**
Sheet metal:3V crimp

- > **Roof secondary structures (dormers etc):**
Gable extension
Cone turret

- > **Change status/year changed/date noted/nature:**

- > **Original, intermediate, present uses/year started/year ended:**
Private residence;1900;

- > **Research methods:**
FL Master Site File-Cultural Resources
Examine local property records
Pedestrian

- > **Area(s) of historical significance:**
Community planning & development

- > **Repositories: Collection/Housed/Accession#/Describe**

- > **[Other name(s)]:**

NORTH



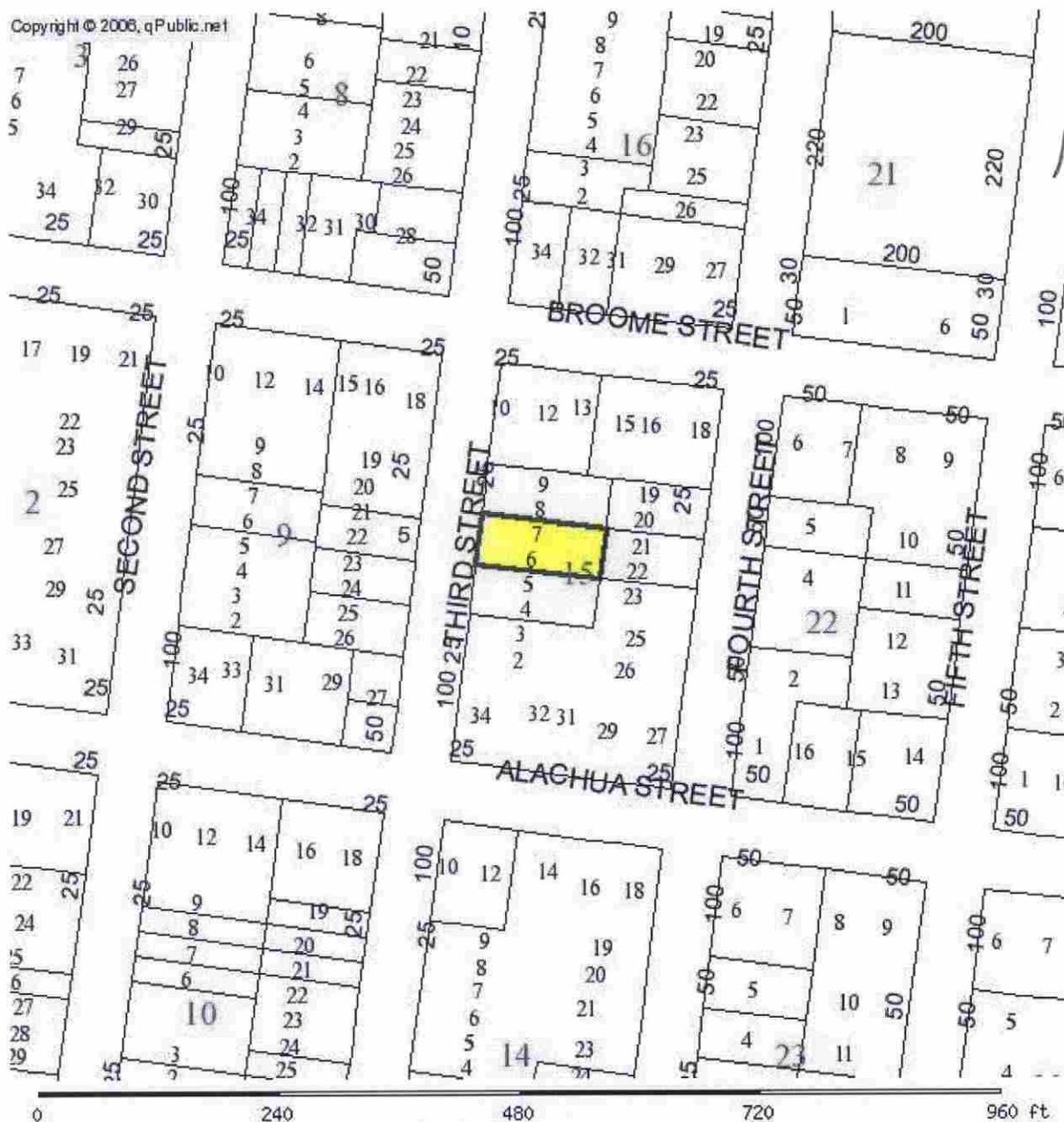
SOUTH

NA254

94

94

NA 254



PARCEL INFORMATION TABLE	
Selected Parcel	00-00-31-1800-0015-0060
GIS CALCULATED ACREAGE	0.14
Property Use	MULTI-FAMI
Land Use	MULTI-FAM
OWNERSHIP INFORMATION	
Name	HOWARD JOHN L &
Mailing Address	ENGLE-HOWARD MARTHA S (H&W) 2204 ARYNESS DR; VIENNA, VA 22181
Situs/Physical Address	120 NORTH 3RD ST U&D
2006 PROPOSED VALUES	
Land Value	81,750



94
NA
254

SEE SITE FILE STAFF FOR ORIGINAL PHOTO(S) OR MAP(S)

FLORIDA MASTER SITE FILE
Site inventory Form

SITE NO. *8 NA 254*

SITE NAME: 120 N. 3rd St.
ADDRESS OF SITE: 120 N. 3rd St.
INSTRUCTION FOR LOCATING: N/A

SURVEY DATE: 09/30/85

LOCATION: City of Fernandina Beach 15 6
Subdivision Name Block No. Lot No.

COUNTY: Nassau

DISTRICT NAME IF APPLICABLE: Fernandina Beach Historic

OWNER OF SITE: NAME:
ADDRESS:
ADDRESS:

TYPE OF OWNERSHIP: private RECORDING DATE: / /

RECORDER: NAME & TITLE: Historic Property Associates, Inc.

ADDRESS: P. O. Box 1002
St. Augustine, FL 32084

CONDITION OF SITE:	INTEGRITY OF SITE:	
Check One	Check one or more	
EXCELLENT	x ALTERED	ORIGINAL USE pvt.residence
x GOOD	UNALTERED	PRESENT USE pvt.residence
FAIR	x ORIGINAL SITE	DATES c.+ 1884
DETERIORATED	RESTORED: / /	CULTURE/PHASE American
	MOVED: / /	PERIOD: 19th Century
NR CLASSIFICATION CATEGORY: building		DATE LISTED ON NR: / /

THREATS TO SITE: Check one or more

ZONING	TRANSPORTATION
DEVELOPMENT	FILL
DETERIORATION	DREDGE
BORROWING	
OTHER (See Remarks Below)	

AREAS OF SIGNIFICANCE: architecture

SIGNIFICANCE

See Continuation Sheet

RECORD NUMBER 12

ARCHITECT:

BUILDER:

STYLE AND/OR PERIOD: masonry vernacular # "folk house"

PLAN TYPE: square

EXTERIOR FABRIC(S): brick: running

STRUCTURAL SYSTEM(S): masonry: brick

PORCHES: W/1-story, 3-bay, access from W, third bay,
supported by brick piers; shed roof

ORIENTATION: W

FOUNDATION: continuous: brick

ROOF TYPE: gable

SECONDARY ROOF STRUCTURE(S):

CHIMNEY LOCATION: S: offset: lateral slope

WINDOW TYPE: DHS, 2/2, wood

CHIMNEY: brick

ROOF SURFACING: composition shingles: butt

ORNAMENT EXTERIOR: brick (red) # wood

NO. OF CHIMNEYS 1

NO. OF STORIES 2

NO. OF DORMERS: 0

OUTBUILDINGS:

SURROUNDINGS:

SITE SIZE (approx. acreage) LT1

TOWNSHIP	RANGE	SECTION
3N	28E	22

UTM ZONE	UTM EASTING	UTM NORTHING
----------	-------------	--------------

PHOTOGRAPHIC RECORDS NUMBERS:

CONTINUATION SHEET:

120 N. 3rd St. is located within a subdivision known as the City of Fernandina. The subdivision was laid-out on a series of Spanish land grants acquired by Domingo Fernandez, a ships captain and planter, and his family during the early nineteenth century. Following the acquisition of Florida by the United States in 1821, the heirs of Domingo Fernandez sold the land grants which contained the Eliza or Louisa and Yellow Bluff Plantations to David Levy Yulee, President of the Florida Railroad Company and the first United States Senator from Florida. The Florida Railroad Company recorded the plat of the City of Fernandina in 1857 and the Florida Town Improvement Company revised it in 1887 and 1901.

Constructed c. 1884, it is a two-story masonry vernacular residential building. It is noteworthy for its brick construction and for its simple gable front plan. It has been significantly altered by the removal of the original porch.

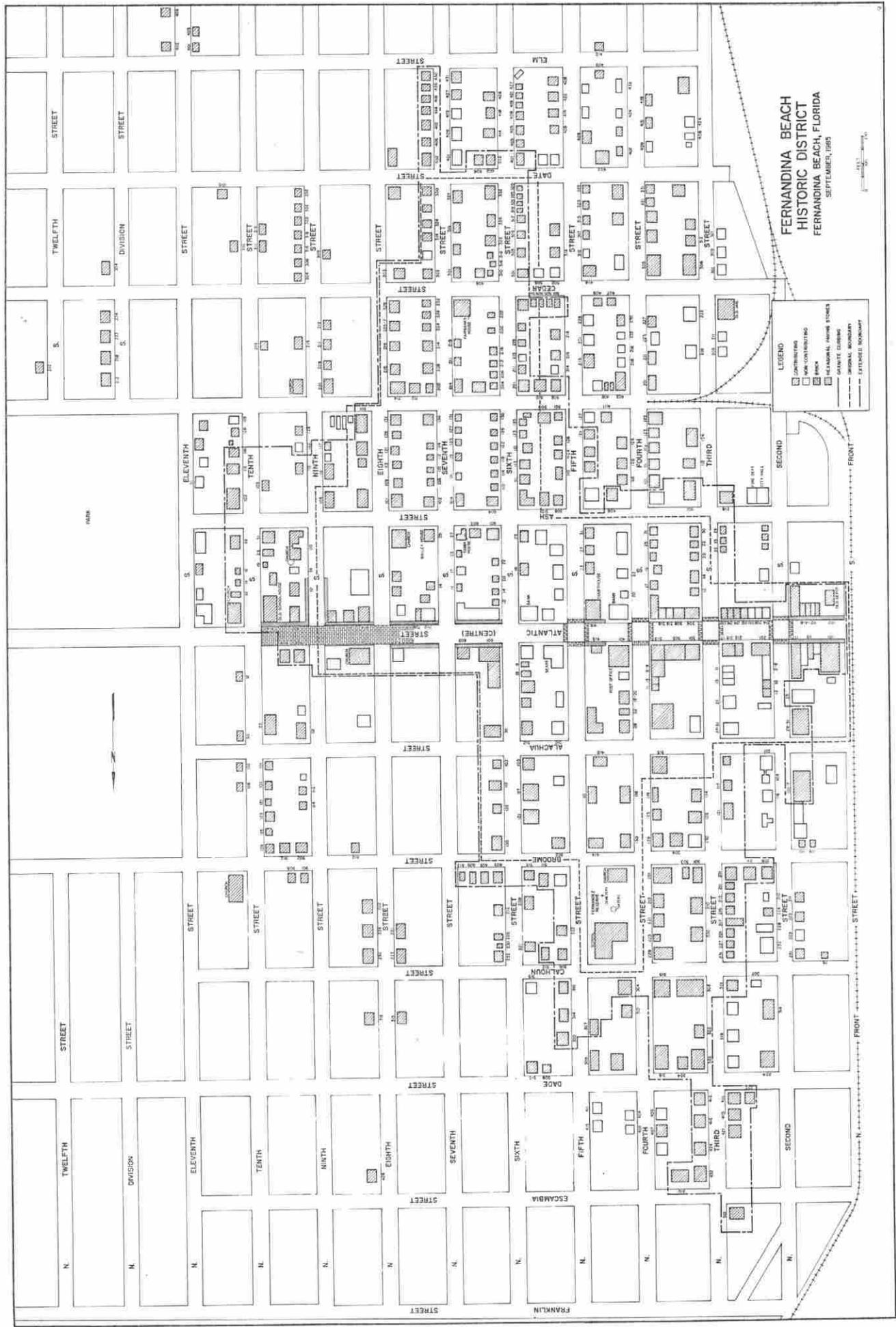


Figure 24









HISTORIC DISTRICT COUNCIL STAFF REPORT
HDC 2016-26
November 17, 2016

Owner/Applicant:
Property Address:
Requested action:

Cotner Associates, Inc., agent for 316 Centre Street, LLC.
 316 Centre Street
 Certificate of Approval (COA) to demolish non-contributing additions on the east and south sides of contributing structure; construct new 2-story additions at south and east elevations; façade renovations including removing upper-story windows, recreating details to match historic appearance, painting non-historic brick, creation of new storefront façade at 1st floor, and the addition of aluminum railings at ground floor terrace dining area.

Current zoning:
FLUM land use category:
Existing uses on the site:
Year Built:
Contributing Status:
Adjacent Properties:

C-3				
Central Business District				
Commercial				
1914 (Tax Appraiser) 1914 (FL Master Site File)				
Contributing Structure with non-contributing additions at E and S elevations				
North	Commercial	c. 1929	C-3	
South	Single Family Residential	c. 1900	C-3	
East	Commercial	c.	C-3	
West	Commercial	c. 1900	C-3	

All required application materials have been received. All fees have been paid. All required notices have been made.



SUMMARY OF REQUEST AND BACKGROUND INFORMATION:

Applicant is proposing to demolish non-contributing additions on the east and south sides of contributing structure; construct new 2-story additions at south and east elevations; façade renovations including removing upper-story windows, recreating details to match historic appearance, painting non-historic brick, creation of new storefront façade at 1st floor, and the addition of aluminum railings at ground floor terrace dining area.

APPLICABLE GUIDELINES:

Secretary of the Interior's Standards for Rehabilitation

1. **A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**
Findings: *Complies* *Does not Comply* *N/A*
2. **The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**
Findings: *Complies* *Does not Comply* *N/A*
3. **Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**
Findings: *Complies* *Does not Comply* *N/A*
4. **Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.**
Findings: *Complies* *Does not Comply* *N/A*
5. **Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.**
Findings: *Complies* *Does not Comply* *N/A*
6. **Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.**
Findings: *Complies* *Does not Comply* *N/A*
7. **Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**
Findings: *Complies* *Does not Comply* *N/A*
8. **Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.**
Findings: *Complies* *Does not Comply* *N/A*
9. **New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**
Findings: *Complies* *Does not Comply* *N/A*
10. **New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment**

would be unimpaired.

Findings:

Complies

Does not Comply

N/A

CITY OF FERNANDINA BEACH LAND DEVELOPMENT CODE

8.01.01.01 Standards for Development in the Historic District Overlays

- A. *The review of proposed development within the Historic District Overlays shall be based upon the latest edition of Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings from the U.S. Secretary of Interior.*
- B. *The review of proposed development within the Historic District Overlay shall also be based upon compliance with the Downtown Historic District Guidelines, dated December 1999, as amended from time to time. The review of proposed development within Old Town shall be based upon compliance with the Old Town Preservation and Development Guidelines, dated June 1999, as amended from time to time.*
- C. *In addition to standards applicable to the underlying zoning district, new construction within the Historic District Overlay shall be compatible with the existing character of the landmark or the district. Compatible design means architectural design and construction that will fit harmoniously into the district or the landmark site. New construction shall be compatible in scale, materials, and quality of construction with adjacent buildings and structures that have been designated.*
- D. *The following features shall be considered by the Historic District Council in the evaluation of proposed new construction, as such features comply with the guidelines referenced in Section 8.01.01.01(A) and (B) above:*
 - 1. *Scale, including height and width;*
 - 2. *Setbacks;*
 - 3. *Orientation and site coverage;*
 - 4. *Alignment, rhythm, and spacing of buildings;*
 - 5. *Form and detail, considering the link between old and new buildings;*
 - 6. *Maintaining materials within the district or on the landmark site;*
 - 7. *Maintaining quality within the district or on the landmark site;*
 - 8. *Facade proportions and window patterns;*
 - 9. *Entrances and porch projections;*
 - 10. *Roof forms; and*
 - 11. *Horizontal, vertical, or non-directional emphasis.*

8.02.02 Historic District Council Roles and Responsibilities

The HDC shall have the duty and responsibility to:

- C. *Review and approve or deny applications for a certificate of Approval for construction, alteration, demolition, or removal of historic landmarks, historic sites, archaeological sites, properties in historic districts, or properties in the CRA Overlay.*

CITY OF FERNANDINA BEACH DOWNTOWN HISTORIC DISTRICT DESIGN GUIDELINES: COMMERCIAL BUILDING TYPES

Two-Part Commercial Block

Several commercial buildings in downtown Fernandina Beach can be characterized in form as “Two-Part” commercial blocks. These are buildings that have two primary components – storefronts and upper facades. Original storefronts are largely transparent and consist of display windows resting on bulkheads, transoms, and entrances with glass and wood doors. Upper facades have one or more floors of windows and decorative detailing such as brick corbelling, or terra cotta panels and cornices at rooflines.

*In addition to stylistic influences, Fernandina Beach's commercial buildings can be categorized by their block type. These One- and Two-part Commercial Block building types were common in small and mid-size communities throughout the country in the 19th and early 20th centuries. Richard Longstreth's publication, *The Buildings of Main Street*, outlines these commercial building types based on their two separate components, storefronts and upper facades.*

The purpose of a storefront was to allow for visibility of merchandise. Advances in technology in the mid-19th century allowed for essentially transparent storefronts. Cast iron columns and pilasters replaced wood frame and were load-bearing of the upper masonry wall, maximizing the display window area.

Recessed entrances increased display area, too, and had transoms above glass and wood doors. Upper facades on Two-Part Commercial Blocks had windows to allow natural light into upper floors, and exterior masonry walls were often embellished with decorative brickwork. The roofline was capped with a cornice of corbelled brick, wood, or sheet metal. Sheet metal, readily formed into custom design, was especially popular for commercial buildings.

The use of cast iron for storefronts extended into the early 20th century. After 1910, most storefronts were built with steel lintels to support the upper facade masonry. A variety of materials was used in storefront construction, including glass along with brick piers, marble, glazed tile, and brick bulkheads, and metals like copper and bronze.

Upper facades of commercial buildings generally became more functional and less decorative. Arched windows gave way to rectangular windows, and the use of sheet metal for window and roof cornices gradually declined. Different patterns, colors, and textures of brick and concrete provided decoration to upper facades.

Downtown Fernandina Beach retains many original storefronts and storefront elements that should be preserved. Where modern storefronts have been added, restoration is encouraged, or remodeling that is in keeping with historic storefront configurations. Upper facade changes have often included covering windows with brick or wood panels, removal of cornices, and concealment of details beneath added metal panels. Future rehabilitation of commercial buildings should include the repair or replacement of upper floor elements to maintain and enhance the building's character.

The most important changes to the Fernandina Beach Historic District since it was first listed on the National Register in 1973 have taken place along Centre Street. In 1977 street improvements were undertaken which included the planting of palms and landscaping, the installation of mini-plazas and benches, and the construction of parking bays. These improvements were completed in 1978. Renovation and restoration efforts have been undertaken on a number of buildings along Centre Street and the adjoining residential neighborhoods.

CITY OF FERNANDINA BEACH DOWNTOWN HISTORIC DISTRICT DESIGN GUIDELINES: STOREFRONTS

Storefronts are defining elements of the commercial buildings in the historic district. Historic storefronts should be retained, visible, maintained and, if needed, repaired.

- 1. Retain and maintain historic storefronts and their component elements, such as display windows, bulkheads, transoms, doors, cornices, pillars, and pilasters.*
- 2. Ensure that historic storefronts and their component elements remain visible.*
- 3. Repair deteriorated or damaged storefronts or elements so that the storefront retains its historic appearance.*
- 4. Replace missing storefronts or elements so that they replicate the original storefront or other historic examples, or replace with compatible modern examples.*
- 5. The installation of temporary storm shutters to protect storefronts is appropriate as long as they are reversible and do not result*

CITY OF FERNANDINA BEACH DOWNTOWN HISTORIC DISTRICT DESIGN GUIDELINES: INFILL BUILDINGS

Ensuring the integrity of the historic district requires attention to new construction and its compatibility with respect to visual and historic characteristics. The following guidelines address the many factors involved in determining the appropriateness of proposed new buildings. Apply each guideline in terms of the new building's relationship to adjacent historic buildings. For instance, if brick walls are the dominant characteristic in the existing streetscape, the compatibility of color and materials of the new building is highly important. In other areas, where colors and materials vary, conformity of materials is less significant, and other factors such as height and roof shape may be more important.

- 1. Construct new buildings to a height compatible with existing adjacent buildings. New buildings should have the same number of stories and be within ten percent of the average height of existing buildings as seen from the street and publically accessible areas.*
- 2. Construct new buildings with façade proportions, including the height-to- width ratio, similar to and compatible with others on existing adjacent buildings.*
- 3. New buildings should be compatible with adjacent buildings in terms of setback.*
- 4. Match the degree of new design's complexity with that of existing adjacent buildings. The area's dominant architecture should dictate the degree of simplicity or complexity for a new building.*
- 5. With respect to height-to-width ratios, design new buildings' windows and doors in relation to the proportions of existing adjacent buildings visible from public areas.*
- 6. Design new buildings with solid-to-void rhythms and open-to-solid proportions compatible with those used in existing adjacent buildings.*
- 7. Select materials and textures for new buildings that relate to the extent such materials and textures are used in the surrounding area and on existing adjacent buildings. In areas where strong continuity of materials and textures is a factor, the continued use of those materials should be strongly considered.*
- 8. Select colors for a new building that relate to the use of color in the surrounding area and on existing adjacent*

buildings. In areas where strong continuity of color is a factor, the continued use of existing colors should be strongly considered.

9. Relate architectural details and articulation to that of existing buildings. Such details may include lintels, cornices, arches, chimneys, and ironwork.

10. Design new buildings to be compatible with the historic and architectural character of the area while also recognizing them as products of their own time. By following a majority of the above guidelines, a new building can be designed that respects its historic neighbors without simply duplicating them.

11. Windows should be designed with divided lights and not have snap-in or flush muntin bars.

CITY OF FERNANDINA BEACH DOWNTOWN HISTORIC DISTRICT DESIGN GUIDELINES: UTILITIES AND ENERGY RETROFITTING

Utilities such as garbage containers and mechanical systems are important to the functionality of buildings and the district. Locate these mechanical systems, solar panels and also air conditioning and heating units at rear facades or on rooftops, where they are not readily visible from the street. Paint conduits to blend with the color of the building.

1. Locate garbage containers behind buildings.

2. Locate mechanical systems behind or on top of buildings, set back or behind a parapet, where they will not be visible from the street.

3. Rear elevations are also the appropriate location for meters, conduits, and other equipment.

4. Minimize the visibility of window unit systems by locating them on the side or rear elevations.

5. Owners of commercial buildings are encouraged to paint their roofs with reflective coatings to reduce energy costs.

6. The installation of solar panels or solar shingles is appropriate for commercial buildings as long as these panels or shingles are not readily visible from the street and are concealed behind roof parapet walls.

7. The installation of solar panels on rear elevations not readily visible from the street is also appropriate in the downtown area.

8. Energy-saving devices such as solar panels may be reviewed, but not to the extent that their placement renders them ineffective. Property owners are encouraged to place solar panels, wind turbines or other energy saving measures on elevations that are not readily visible from the street and do not detract from a building's architectural character.

ANALYSIS:

This contributing structure dates to sometime between 1884 and 1897 according to the Sanborn Fire Insurance Maps. The infill building to the east was added between 1897 and 1907 according to the Sanborn Fire Insurance Maps (Exhibit 2).

As evidenced in the historic photos (Exhibit 3), the building consists of a traditional 2-part commercial block design. It originally featured large display windows on bulkheads and what appear to be cast iron columns at the first floor with recessed entry door. The storefront was divided by the columns into three bays, with a door and arched transom window to the right, as an access to the second floor. Above the storefront was a decorative cornice that matched elements of the upper pediment. The second floor featured two ganged 1/1 windows in the center flanked by single 1/1 arched windows on each side. The top of the building featured a decorative pediment. The brickwork was highlighted as a decorative feature and appears to have had bricks of different color or painted accent bricks to highlight the decorative features.

According to historic photos, the building underwent a renovation sometime between 1965 and 1970 (Exhibit 3). This renovation included the addition of brick veneer over the original façade. This veneer obscured all of the architectural details of the original building, presumably to give it a more “modern” appearance. Also notable in the photo from this period is a new storefront and removal of the original columns, bulkheads, and windows.

The proposed project aims to rehabilitate the structure to create a new restaurant space that encompasses both floors of the contributing structure and creates a new 2-story addition to the east and south where previous additions are being demolished. The building lost much of its architectural detailing when the brick veneer façade was installed. Because it is unknown how the veneer is attached to the historic brick, and the condition of the historic brick underneath, the applicant has decided to leave the brick veneer in place. The proposal will accent the façade by replicating some of the features that existed historically. Some of these features include simulated cast iron elements on storefront and plaster stucco arch heads and parapet geometry. The storefront will feature wood nana doors, with transoms above, which open onto a terraced dining area. This is a modern interpretation of the large storefront windows that were historically on this building, allowing pedestrians on the sidewalk to see the activity inside when the doors are in the closed position. When open, these doors provide a connection between the terrace dining area and the activity on the sidewalk. To the rear of the terrace dining section will be a glass/aluminum curtain wall providing light and a visual connection between the interior restaurant space and the exterior. The entry doors on this wall will be constructed of wood. The terrace dining will be separated from the sidewalk by bronze aluminum decorative railings. The second floor will receive the same treatment, having porch dining at the front, separated from the interior dining space by a glass/aluminum curtain wall. The original brick walls of the contributing structure will remain exposed.

The rear addition will be stepped down from two stories to one, with a service yard. Mechanical will be hidden by a parapet at the second floor rooftop and the combination of a parapet and a living screen wall at the first floor rooftop. The planted screen wall will also be used at the south (rear) wall.

Due to the insensitive restorations that occurred in the late 1960s, there is not a great deal of historic fabric left in

this building. The original brick walls will be maintained and highlighted as a feature of this rehabilitation. The non-historic brick veneer on the façade will be painted. Paint colors will be approved at a later date through the COA staff approval process. This rehabilitation will allow the contributing building to continue to serve the community and remain a vital part of the Centre Street streetscape.

Staff concludes that the requested action is substantially consistent with the Land Development Code, the Secretary of the Interior’s Standards, and the Downtown Historic District Guidelines and recommends **APPROVAL** of HDC 2016-26 with the condition that paint colors get approved through the COA staff approval process.

MOTION TO CONSIDER:

I move to **approve or deny** HDC case number 2016-26 **with or without** conditions;

AND I move that the HDC make the following findings of fact and conclusions of law part of the record:

That HDC case 2016-26, as presented, **is or is not** substantially compliant with the Land Development Code, the Downtown Historic District Guidelines, and the Secretary of the Interior’s Standards to warrant approval at this time.

LIST OF EXHIBITS:

- EXHIBIT 1 HDC 2016-26 Application**
- EXHIBIT 2 Sanborn Fire Insurance Maps**
- EXHIBIT 3 Historic Photos**
- EXHIBIT 4 FL Master Site File NA01101**
- EXHIBIT 5 NPS Preservation Brief 11: Storefronts**


Salvatore J. Cumella
Planner II



APPLICATION FOR HISTORIC DISTRICT COUNCIL COA

OFFICE USE ONLY
 REC'D: 10/18 BY: SSC
 PAYMENT: \$ 200.00 TYPE 2130
 APPLICATION #:
 HDC CASE #: 2016-26
 APPLICATION COMPLETE: Y N
 PRE-CONFERENCE: Y N DATE 10/13/16

BOARD MEETING DATE: Nov. 17
 PLANNER: _____ DATE: _____
 APPROVED DENIED

APPROVAL TYPE: Staff Approval Board Approval: Conceptual _____ or Final

PROJECT TYPE:
 New Construction Addition Alteration Relocation Demolition Variance
 Repair Paint Fence Sign Re-roof Other: _____

PROPERTY INFORMATION
 Street Address: 316 Centre Street
 Historic District: Downtown Old Town CRA Waterfront
 Parcel Identification Number(s): 00-00-31-1800-0013-0300
 Zoning District: C3 Lot / Block Number (optional) _____

Owner of Record
Owner(s) Name <u>316 Centre Street LLC</u>
Corporation or Company <u>316 Centre Street LLC</u>
Street Address <u>960194 Gateway Blvd, Ste. 101</u>
City State Zip <u>Fernandina Beach, FL 32034</u>
Telephone Number
Fax Number
Email Address <u>robert@hoganassessments.com</u>

Applicant or Agent
Applicant Name <u>Cotner Associates, Inc.</u>
Corporation or Company <u>Cotner Associates, Inc.</u>
Street Address <u>9 S 3rd Street</u>
City State Zip <u>Fernandina Beach, FL 32034</u>
Telephone Number <u>(904) 277-4593</u>
Fax Number <u>(904) 277-6734</u>
Email Address <u>john@cotnerassociates.com</u>

PROJECT DESCRIPTION

Part 1. Describe The Existing Conditions and Materials. Describe the existing structure(s) on the subject property in terms of the construction materials and site conditions, as well as the surrounding context.

2 story structure next to The Tavern (recently reconstructed) to west. The original 1884 bldg. (west portion of property) will remain intact with efforts to restore details as close as possible to historic findings. The "alley" in fill as well as addition to rear (south) will be demolished and reconstructed maintaining the appearance of in fill via material, plane and color variation.

Part 2. Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s). Attach further description sheets, if needed.

With original brick being coated in simulated brick, the intent is to paint as details are not historic in nature. Attempts will be made to restore arched head detail, brackets and facade to historically accurate geometry. The overall project will encompass approximately 5295 s.f. of conditioned area.

List proposed materials and colors, as applicable:

Project Scope	Type, Material, Brand	Color
Exterior Fabric	Painted plaster (smooth) stucco & painted faux brick	TBD
Doors	Terrace doors - Mahogany, Entry - Wood	TBD
	Others - Aluminum storefront	Dark Bronze
Windows	Wood clad at south	Dark Bronze
	Storefront - Aluminum behind bldg face	Natural white
Roofing	Galvalum standing seam slope t.p.o. low slope	
Fascia/Trim	Hardie trim	TBD
Foundation	N/A	
Shutters	N/A	
Porch/Deck	IRE at Level II	Natural
Fencing	P.T. Hog board at service	TBD
Driveways/Sidewalks	N/A	
Signage	TBD	
Other	Guardrails - Aluminum	Dark Bronze

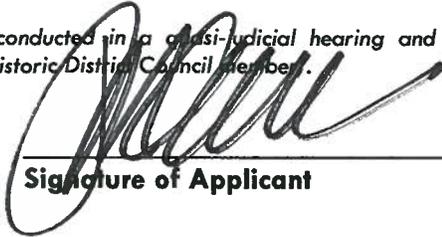
Please submit all product brochures, paint color samples, and material samples with your application.

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

- 1. I/We hereby attest to the fact that the above supplied parcel number(s) and legal description(s) is (are) the true and proper identification of the area of this petition.
- 2. I/We authorize staff from the Community Development Department to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
- 3. I/We understand that Certificates of Approval are only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
- 4. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the HDC before work commences on those changes. There will be no charge for a revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and/or additional fees/penalties.
- 5. It is understood that the approval of this application by the Historic District Council or staff in no way constitutes approval of a Building Permit for construction from the City of Fernandina Beach Building Department.
- 6. The COA review time period will not commence until your application is deemed complete by staff and may take up to 10 days to process.
- 7. Historic District Council meetings are conducted in a quasi-judicial hearing and as such ex-parte communications are prohibited (Communication about your project with a Historic District Council Member).

10-17-14
Date


Signature of Applicant

STATE OF FLORIDA }
 ss }
COUNTY OF NASSAU }

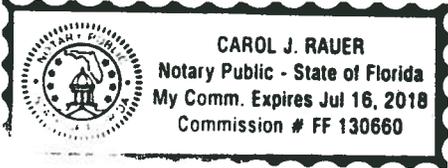
Subscribed and sworn to before me this 17th day of October, 2014.

Carol J. Rauer
Notary Public: Signature

CAROL J. RAUER
Printed Name

7/16/18
My Commission Expires

Personally Known OR Produced Identification ID Produced:





**OWNER'S AUTHORIZATION
FOR AGENT REPRESENTATION**

I/WE Robert Holman
(print name of property owner(s))

hereby authorize: Cotner Associates, Inc. Architects
(print name of agent)

to represent me/us in processing an application for: HDC
(type of application)

on our behalf. In authorizing the agent to represent me/us, I/we, as owner/owners, attest that the application is made in good faith and that any information contained in the application is accurate and complete.

Robert Holman
(Signature of owner)

(Signature of owner)

Robert Holman
(Print name of owner)

(Print name of owner)

STATE OF FLORIDA }
 } SS
COUNTY OF NASSAU }

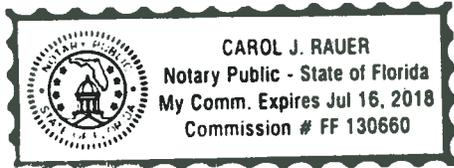
Subscribed and sworn to before me this 17th day of October, 2016.

Carol J. Rauer
Notary Public: Signature

CAROL J. RAUER
Printed Name

7/16/18
My Commission Expires

Personally Known OR Produced Identification _____ ID Produced: _____



2 . .

PREPARED BY & RETURN TO:

Name: Wood & Smith, P.A.
Address: 303 Centre Street
Suite 100
Fernandina Beach, FL 32034
File No. 16-104414
Sales Price: \$979,000.00

Parcel No.: 00-00-31-1800-0013-0300

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

This **WARRANTY DEED**, made the 27th day of September, 2016, by **BARBARA C. HILL** a single person, hereinafter called the Grantors, to **316 CENTRE STREET, LLC**, a Florida limited liability company, whose post office address is 960194 Gateway Blvd. Suite 101, Fernandina Beach, FL 32034, hereinafter called the Grantee:

WITNESSETH: That the Grantors, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, do hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee all that certain land situate in County of Nassau, State of Florida, viz:

All that certain lot, piece or parcel of land situate, lying and being in the City of Fernandina Beach, (formerly named Fernandina), County of Nassau and State of Florida and being further described according to the Official Map or Plat of said City (as lithographed and issued by the Florida Railroad Company in 1857 and enlarged, revised and reissued by the Florida Town Improvement Company in 1887 and 1901) as:

The Westerly 35.0 Feet of Lot 26, The Westerly 10 Feet of Lot 29, and all of Lot 30, in Block 13.

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

THE ABOVE-DESCRIBED PROPERTY IS NOT THE CONSTITUTIONAL HOMESTEAD OF THE GRANTORS, AND NEITHER THE GRANTORS NOR ANY SPOUSE OF THE GRANTORS, NOR ANYONE FOR WHOSE SUPPORT THE GRANTORS IS/ARE RESPONSIBLE, RESIDES ON OR ADJACENT TO SAID LAND.

SUBJECT TO TAXES FOR THE YEAR 2016 AND SUBSEQUENT YEARS, RESTRICTIONS, RESERVATIONS, COVENANTS AND EASEMENTS OF RECORD, IF ANY.

TO HAVE AND TO HOLD the same in fee simple forever.

And the Grantors hereby covenant with the Grantee that the Grantors are lawfully seized of said land in fee simple, that the Grantors have good right and lawful authority to sell and convey said land and that the Grantors hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever. Grantors further warrant that said land is free of all encumbrances, except as noted herein and except taxes accruing subsequent to December 31, 2015.

IN WITNESS WHEREOF, the said Grantors have signed and sealed these presents, as of the day and year first above written.

Signed, sealed and delivered in the presence of:

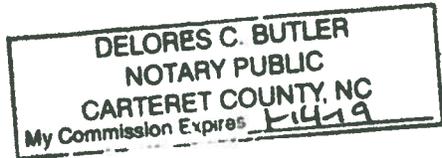
[Signature]
Witness Signature
Printed Name: RANDY MATHEW

[Signature] L.S.
Name: Barbara C. Hill
Address: 206 S 17th Street, Fernandina Beach, FL 32034

[Signature]
Witness Signature
Printed Name: Julie A. Matthews

STATE OF FLORIDA
COUNTY OF NASSAU

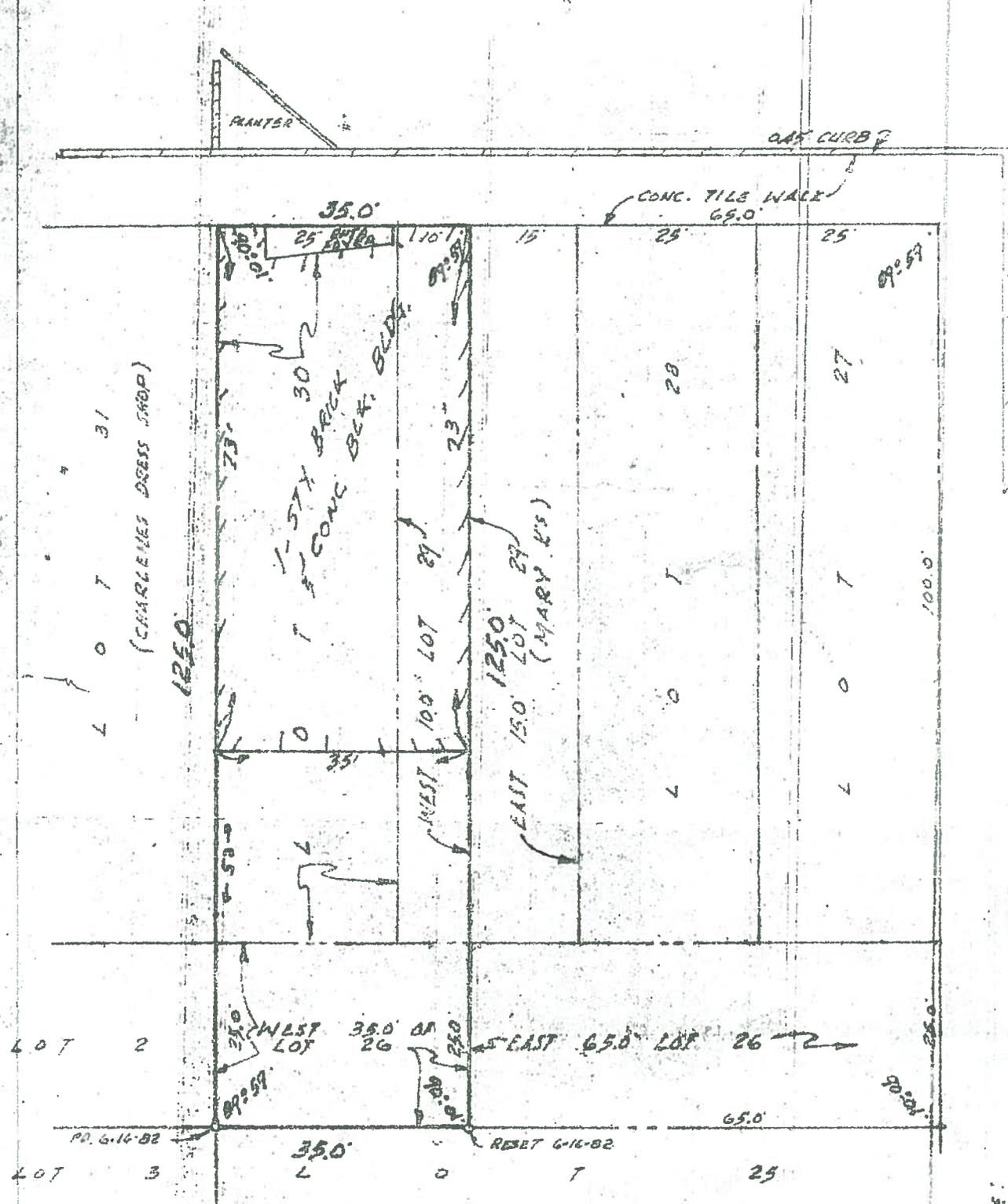
The foregoing instrument was acknowledged before me this 27th day of September, 2016, by Barbara C. Hill, who is personally known to me or who has produced Florida Drivers License as identification.



[Signature]
Signature of Notary
Printed Name: DeLores C. Butler
My commission expires: 1-14-19

(ATLANTIC AVENUE) CENTRE ST.

80' R/W (PAVED)



MAP TO SHOW SURVEY OF

THE WESTERLY 35.0 FEET OF LOT 26, THE WESTERLY 100 FEET OF LOT 29, AND ALL OF LOT 30, BLOCK 13, FERNANDINA

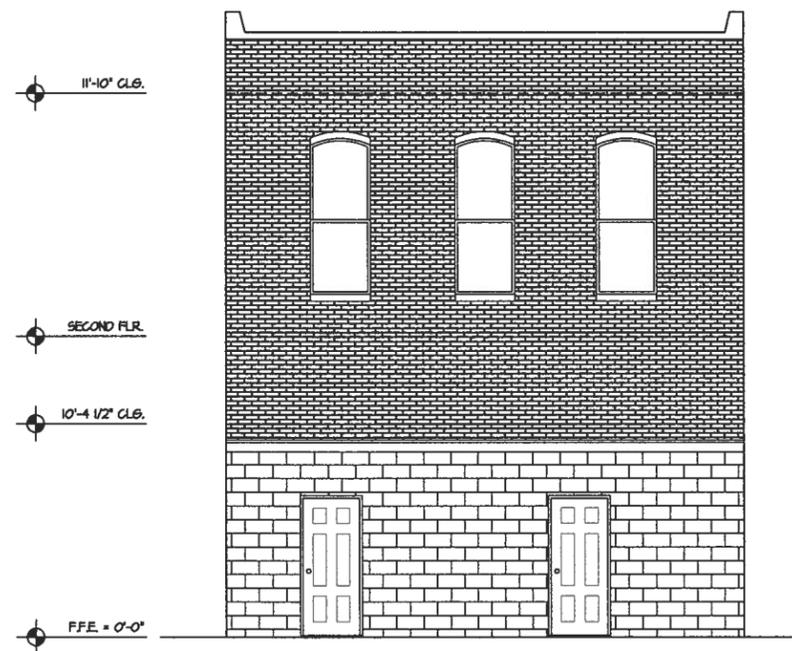
HAZARD NOTE:
 LOTS ARE IN FLOOD HAZARD AREA, ZONE
 FLOOD HAZARD BOUNDARY MAPS
 CITY OF FERNANDINA BEACH, FLA.

JO. FOURTH STREET
 80' R/W (PAVED)

NORTH



FRONT ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"

NO.	REVISION	DATE

EXISTING
FLOOR PLAN

**Alley Cat Seafood, Beer
House & Wine Boutique**
316 CENTRE STREET
FERNANDINA BEACH, FL 32234

DRAWN BY: JRP
CHECKED:
DATE: 08/11/16
SCALE: 1/4" = 1'-0"
JOB NO:

SHEET:
A2

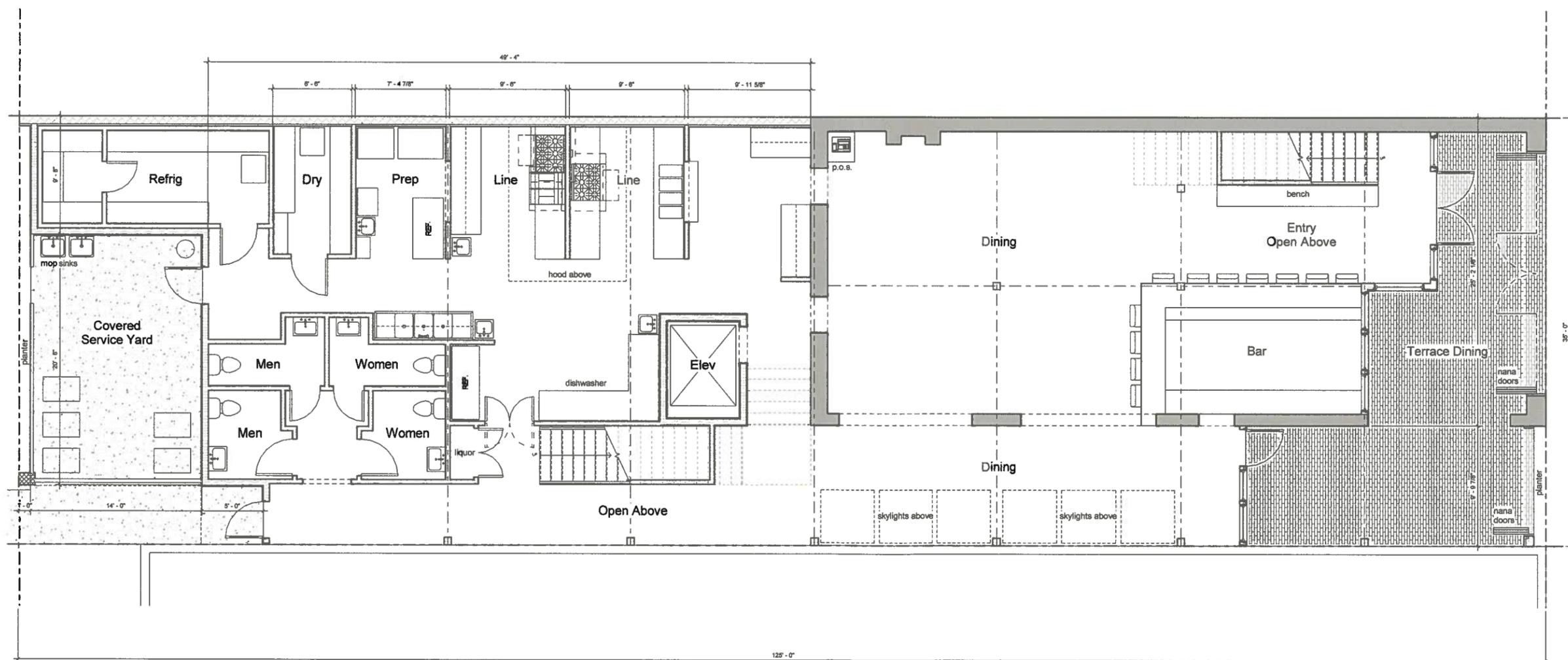
Revisions No.	Description	Date

Issue Date	Issued To/For	Restrictions

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316 Centre Street
 Fernandina Beach
 Nassau County, Florida

NOTE: DRAWING SCALE IS 1/2" OF SCALE LISTED IF PRINTED ON 11X17 MEDIA.
 Project: _____ Released: _____
 Plan North  Sheet Number **A-2**
 Page of 00



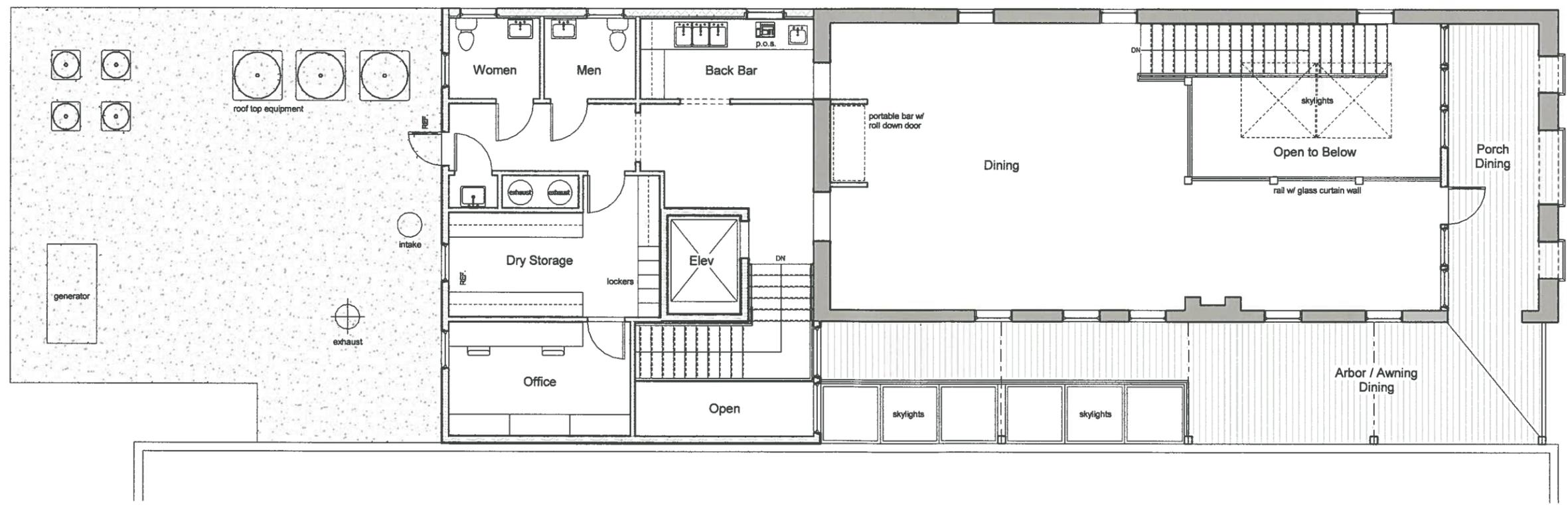
① Level 1
 1/4" = 1'-0"

Revisions No.	Description	Date

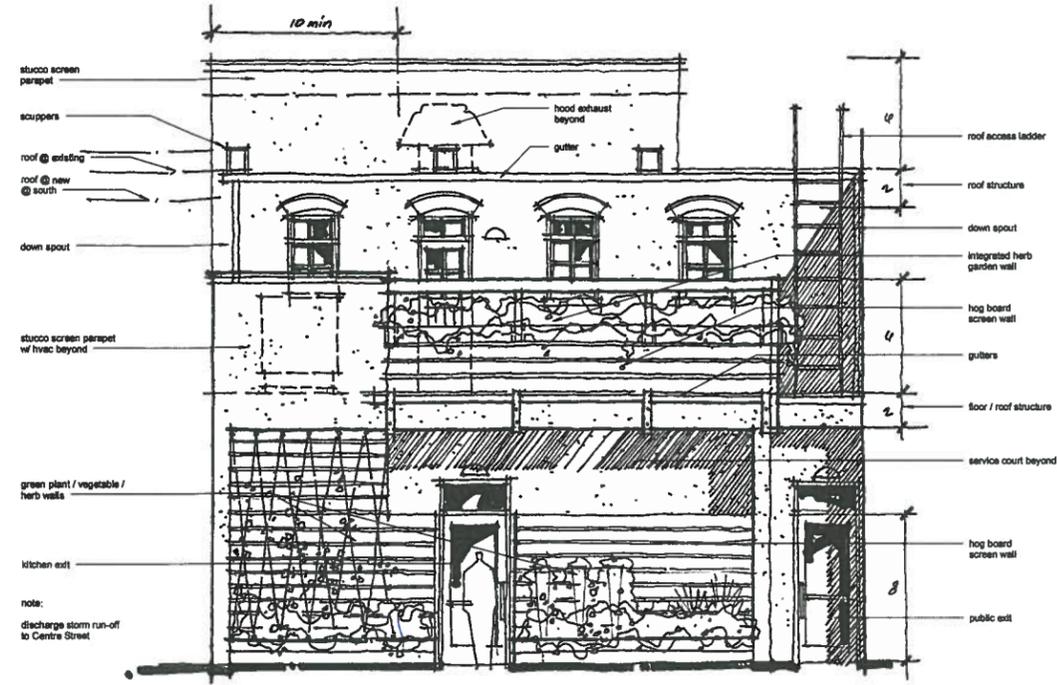
Issue Date	Issued To/For	Restrictions

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316 Centre Street
 Fernandina Beach
 Nassau County, Florida

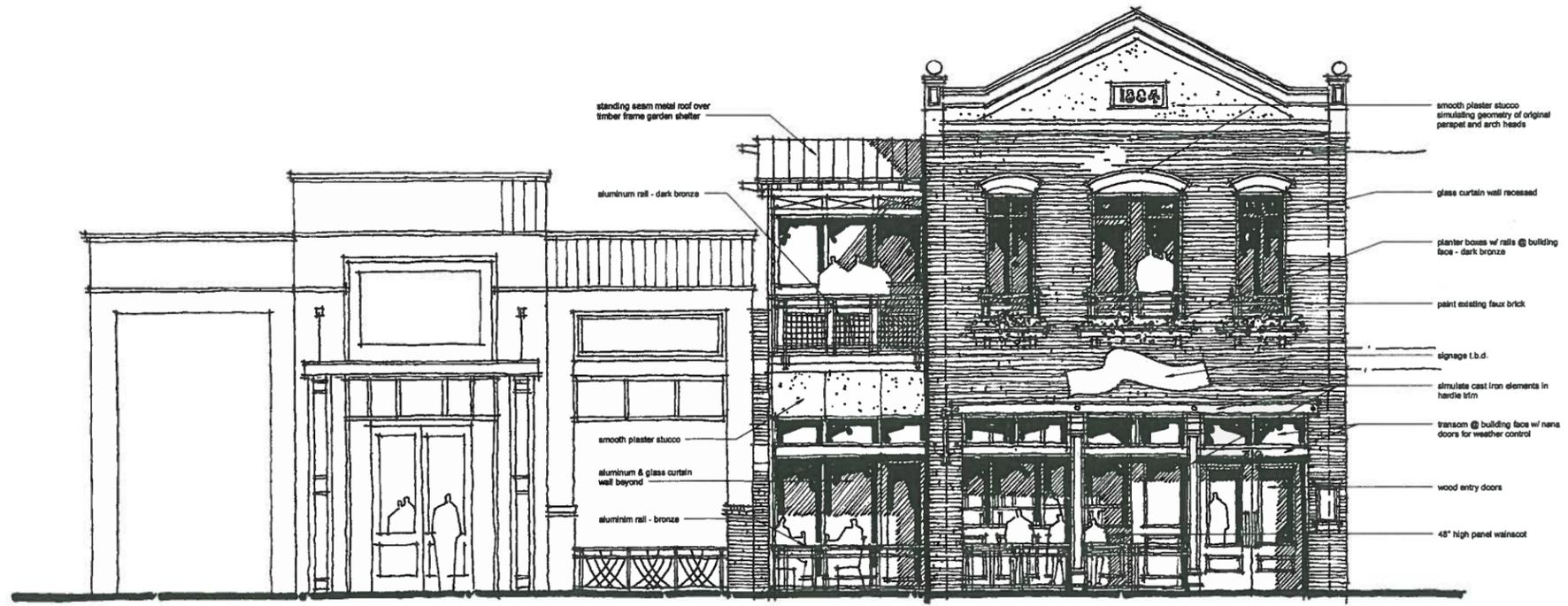


② Level II
 1/4" = 1'-0"



316 Centre Street

② Rear Elevation
1/4" = 1'-0"



The Tavern

316 Centre Street

① Entry Elevation
1/4" = 1'-0"



Cotner Associates, Inc.
Architects
9 South Third Street
Fernandina Beach, Florida 32034
PH 904277-4383 FAX 904277-6734

Revisions	No.	Description	Date

PROGRESS PRINTS	Date	Issue	Restrictions

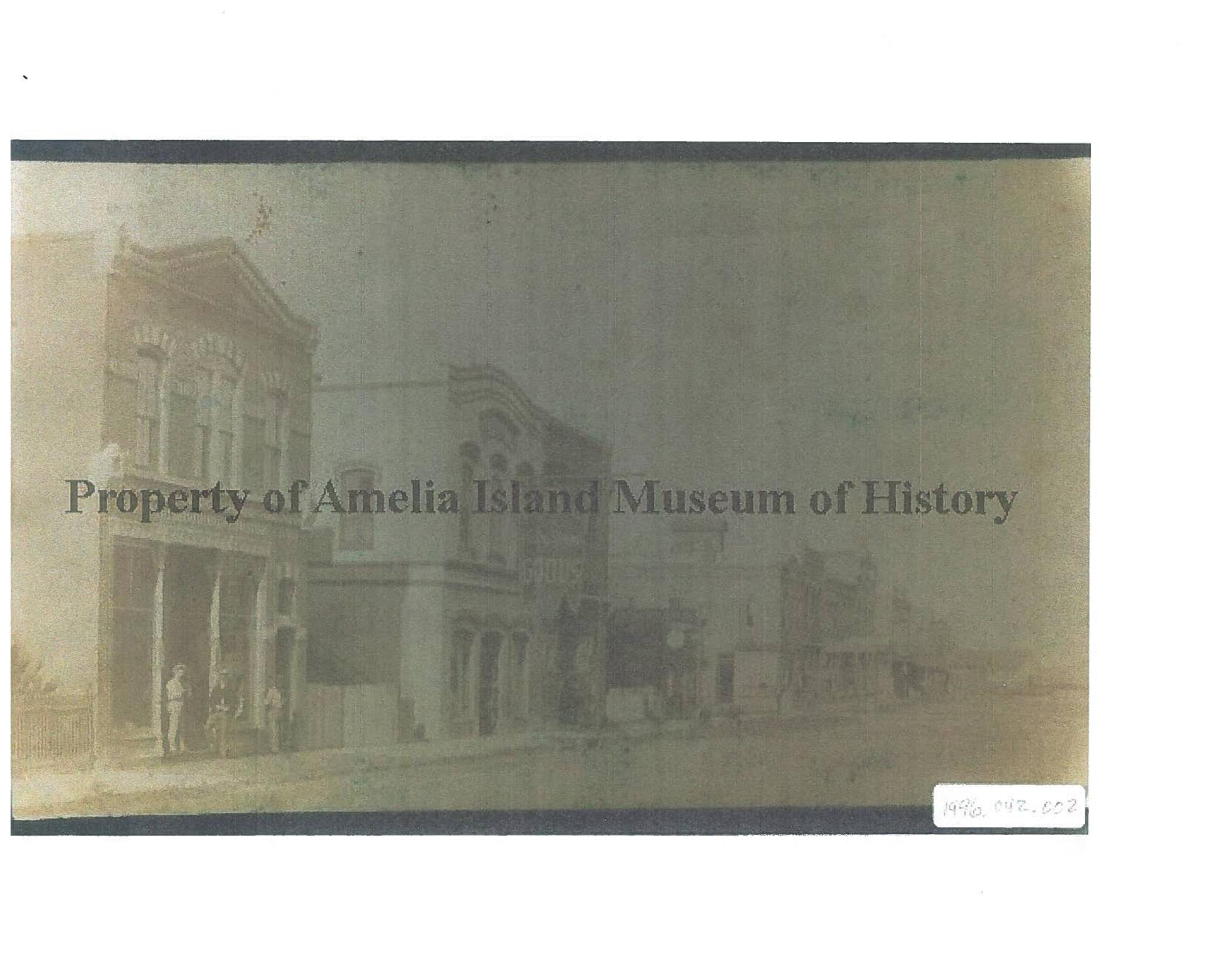
Not Published - All Rights Reserved
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316 Centre Street
Fernandina Beach
Nassau County, Florida

NOTE: DRAWING SCALE IS 1/2 OF SCALE LISTED IF PRINTED ON 11X17 MEDIA
Project: _____ Released: _____

Plan Set: _____ Sheet Number: **A-5**





Property of Amelia Island Museum of History

1998.042.002

AMELIA
TAVERN









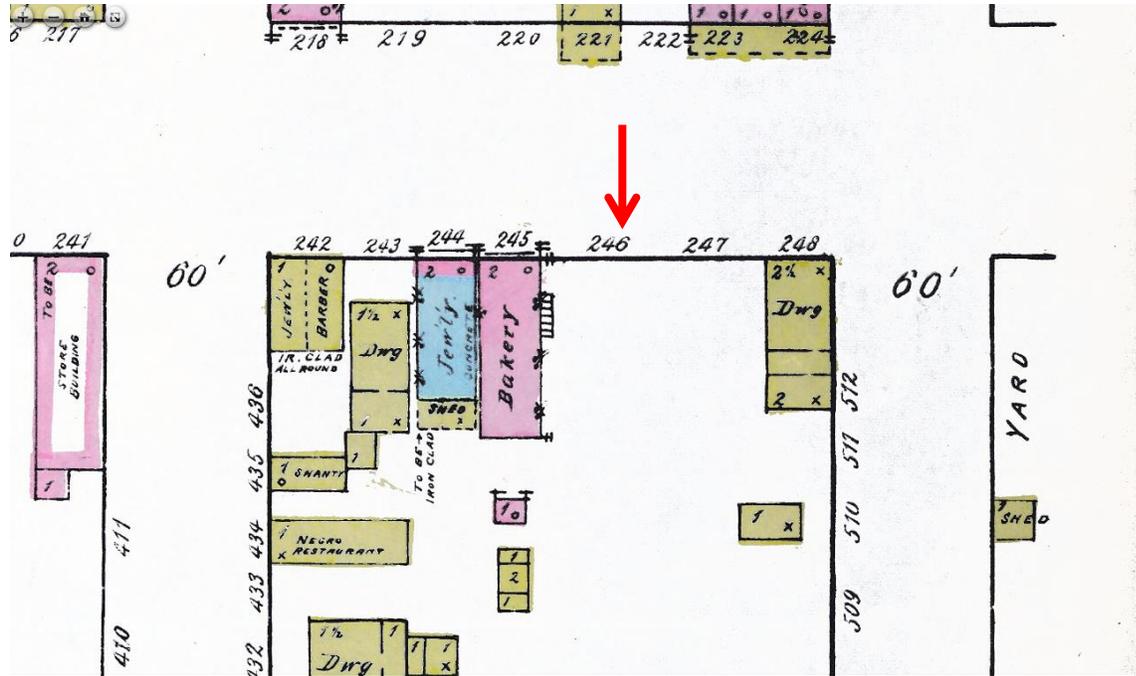
HUNT'S
ART & ARTIFACTS

NET OF CURIOSITIES

All Cat

Sanborn Fire Insurance Maps

1884



1897



1909



Historic Photographs

1880s

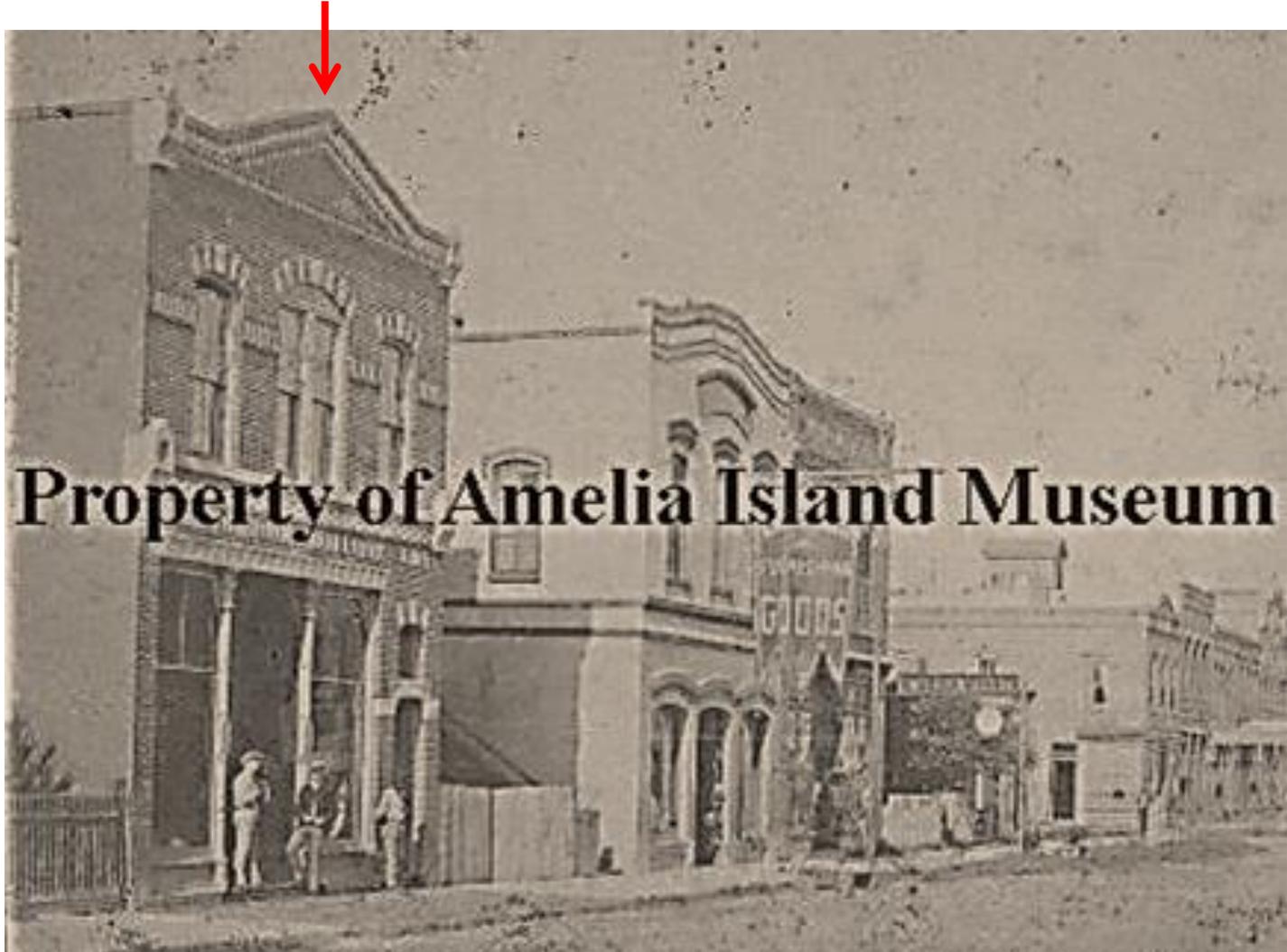


EXHIBIT 3

1907



1965-1970





HISTORICAL STRUCTURE FORM

Electronic Version 1.1.0

Site #8 NA01101
 Recorder # 10
 Field Date 3/20/2007
 Form Date 3/30/2007
 FormNo 200703
 FormNo = Field Date (YYYYMM)

First Site Form Recorded for this Site? yes / ~~no~~

GENERAL INFORMATION

Site Name (address if none) Carolyn's on Centre Multiple Listing (DHR only) _____
 Other Names _____ >> _____
 Survey or Project Name _____ Survey# _____
 National Register Category Building(s)

LOCATION & IDENTIFICATION

Address

Street No.	Direction	Street Name	Street Type	Direction Suffix
<u>316</u>		<u>Centre</u>	<u>Street</u>	

Cross Streets (nearest/ between) _____
 City / Town (within 3 miles) Fernandina Beach In Current City Limits? YES
 County Nassau Tax Parcel #(s) _____
 Subdivision Name _____ Block _____ Lot _____
 Ownership _____
 Name of Public Tract (e.g., park) _____
 Route to (especially if no street address) _____

MAPPING

USGS 7.5' Map Name _____ Publication Date >> FERNANDINA BEACH;2003
 Township: _____ Range: _____ Section: _____ 1/4 section: _____ >> 3N ;28E ;22;UNSP
 Irregular Section Name: _____
 Landgrant _____
 UTM: Zone _____ Easting _____ Northing _____
 Plat or Other Map (map's name, location) _____

DESCRIPTION

Style Masonry Vernacular Other Style _____
 Exterior Plan Rectangular Other Exterior Plan _____
 Number of Stories 2
 Structural System(s) >> Brick
 Other Structural System(s) _____
 Foundation Type(s) >> Continuous
 Other Foundation Types _____
 Foundation Material(s) >> Brick
 Other Foundation Material(s) _____
 Exterior Fabric(s) >> Brick
 Other Exterior Fabric(s) _____
 Roof Type(s) >> Flat
 Other Roof Type(s) _____
 Roof Material(s) >> Tar & gravel
 Other Roof Material(s) _____
 Roof Secondary Structure(s) (dormers etc) >> _____
 Other Roof Secondary Structure(s) _____
 Number of Chimneys _____
 Chimney Material _____
 Other Chimney Material(s) _____
 Chimney Location(s) _____

HISTORICAL STRUCTURE FORM

8NA01101

DESCRIPTION (continued)

Window Descriptions 2/2,1/1 , 6/6, fixed

Main Entrance Description (stylistic details) _____

Porches: #open _____ #closed _____ #incised _____ Location(s) _____

Porch Roof Types(s) _____

Exterior Ornament _____

Interior Plan _____

Other Interior Plan _____

Condition Good

Structure Surroundings

Commercial: MOSTLY this category

Residential: _____

Institutional: _____

Undeveloped: _____

Ancillary Features (Number / type of outbuildings, major landscape features) _____

Archaeological Remains (describe): none

If archaeological remains are present, was an Archaeological Site Form completed? _____

Narrative Description (optional) _____

HISTORY

Construction year 1900

Architect (last name first): _____

Builder (last name first): _____

Changes in Locations or Conditions

Type of Change	Year of Change	Date Change Noted	Description of Changes
>>			

Structure Use History

Use _____ Year Use Started _____ Year Use Ended _____ >> Private residence;1900;

Other Structure Uses _____

Ownership History (especially original owner, dates, profession, etc.) _____

RESEARCH METHODS

Research Methods _____ >> FL Master Site File-Cultural Resources

Other research methods _____

SURVEYOR'S EVALUATION OF SITE

Potentially Eligible for a Local Register? _____

Name of Local Register if Eligible _____

Individually Eligible for National Register? NO

Potential Contributor to NR District? YES

Area(s) of historical significance _____

>> Community planning & development

Other Historical Associations _____

Explanation of Evaluation (required) Because the resource retains much of its historic integrity and stands within the historic district, it appears to be potentially eligible as a contributor to the historic district.

HISTORICAL STRUCTURE FORM

8NA01101

DOCUMENTATION (Photos, Plans, etc.)

Photographic Negatives or Other Collections Not Filed with FMSF, Including Field Notes, Plans, other Important Documents.

Document type: _____ Maintaining Organization: _____
File or Accession #: _____ Descriptive Information: _____
>> _____

RECORDER INFORMATION

Recorder Name (Last, First) Bland, Myles
Recorder Address / Phone 7035 Phillips HWY Ste. 5-129 Jacksonville, FL 904-448-4429
Recorder Affiliation Bland & Associates, Inc Other Affiliation _____
Is a Text-Only Supplement File Attached (Surveyor Only)? NO

***** MASTER SITE FILE USE ONLY *****

Cultural Resource Type: SS
Electronic Form Used: S110
Form Type Code: NORM
Form Quality Ranking: NEW
Form Status Code: SCAT

SHPO's Evaluation of Resource

_____ Date _____

Supplement Information Status: NO SUPPLEMENT
Supplement File Status: NO SUPPLEMENT FILE

FMSF Staffer: _____
Computer Entry Date: 6/14/2007

Form Comments: _____

REQUIRED PAPER ATTACHMENTS

- (1) USGS 7.5" MAP WITH STRUCTURE PINPOINTED IN RED
- (2) LARGE SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, B&W, AT LEAST 3"X5"

NA01101-200703

Supplementary Printout

- > **USGS map name/year of publication or revision:**
FERNANDINA BEACH;2003

- > **Township/Range/Section/Qtr:**
3N ;28E ;22;UNSP

- > **Structural system(s):**
Brick

- > **Foundation types:**
Continuous

- > **Foundation materials:**
Brick

- > **Exterior fabrics:**
Brick
Stucco

- > **Roof types:**
Flat

- > **Roof materials:**
Tar & gravel

- > **Roof secondary structures (dormers etc):**

- > **Change status/year changed/date noted/nature:**

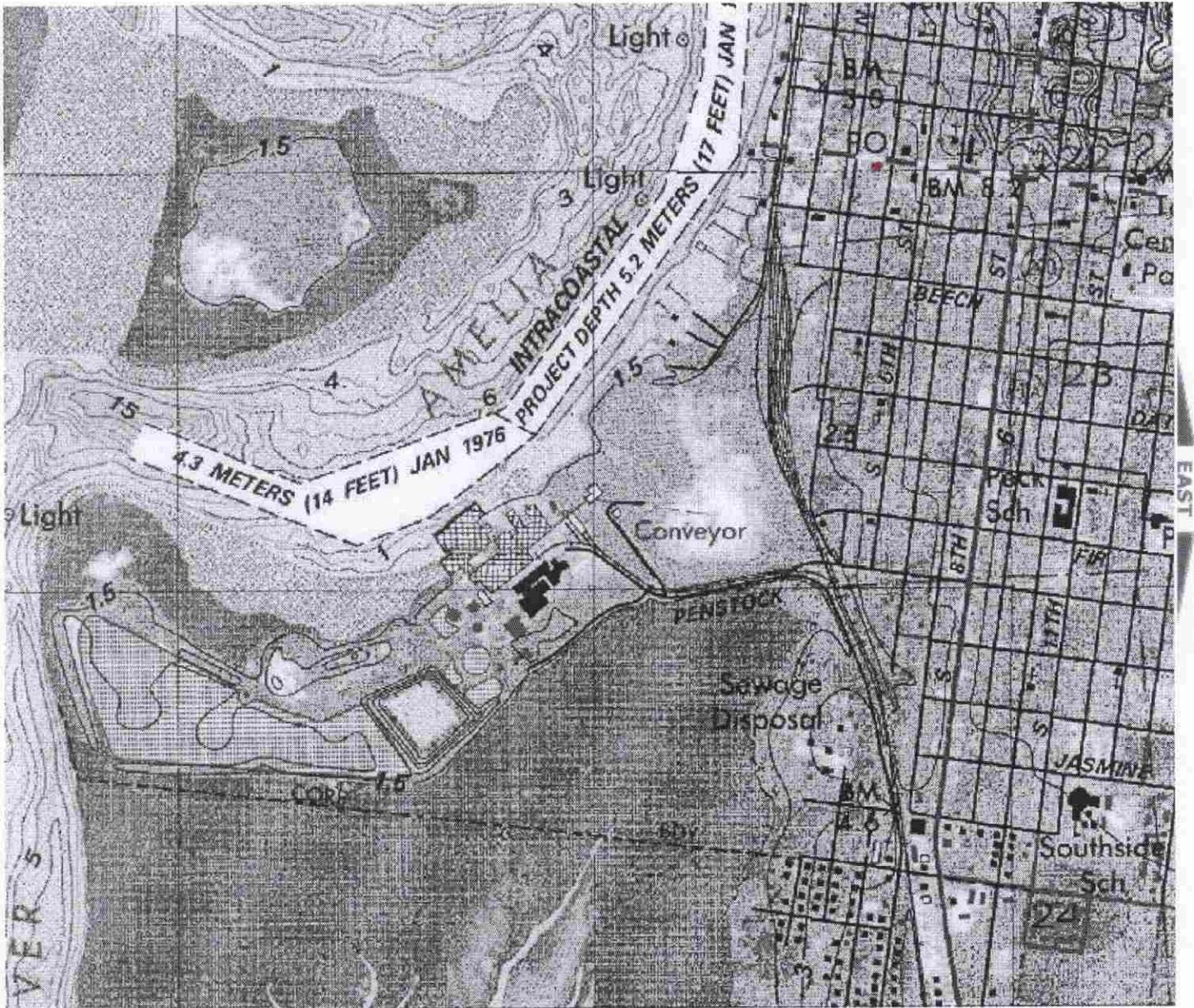
- > **Original, intermediate, present uses/year started/year ended:**
Private residence;1900;

- > **Research methods:**
FL Master Site File-Cultural Resources
Examine local property records
Pedestrian

- > **Area(s) of historical significance:**
Community planning & development

- > **Repositories: Collection/Housed/Accession#/Describe**

- > **[Other name(s)]:**



NA-1161

10



10
NA1101

PARCEL INFORMATION TABLE	
Selected Parcel	00-00-31-1800-0013-0300
GIS CALCULATED ACREAGE	0.1
Property Use	STORE/OFFI
Land Use	STORE COMB
OWNERSHIP INFORMATION	
Name	HILL BARBARA C &
Mailing Address	GEORGE FERGUSON COX PO BOX 220; FERNANDINA BEACH, FL 320350220
Situs/Physical Address	316 CENTRE ST
2006 PROPOSED VALUES	
Land Value	285,285

1884



HUNTS
ART & ANTIQUE
GALLERY



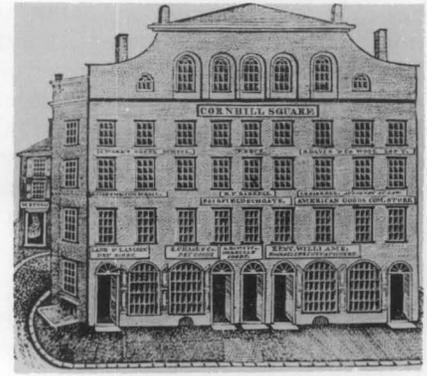
THREE
HOUR
PARKING
←

316

CAROLYN'S
on Centre
CAFE AND BAR



11 PRESERVATION BRIEFS



Rehabilitating Historic Storefronts

H. Ward Jandl



U.S. Department of the Interior
National Park Service
Cultural Resources
Heritage Preservation Services

The storefront is the most important architectural feature of many historic commercial buildings. It also plays a crucial role in a store's advertising and merchandising strategy to draw customers and increase business. Not surprisingly, then, the storefront has become the feature most commonly altered in a historic commercial building. In the process, these alterations may have completely changed or destroyed a building's distinguishing architectural features that make up its historic character.

As more and more people come to recognize and appreciate the architectural heritage of America's downtowns, however, a growing interest can be seen in preserving the historic character of commercial buildings. The sensitive rehabilitation of storefronts can result not only in increased business for the owner but can also provide evidence that downtown revitalization efforts are succeeding (see figure 1).

Once a decision is made to rehabilitate a historic commercial building, a series of complex decisions faces the owner, among them:

- if the original storefront has survived largely intact but is in a deteriorated condition, what repairs should be undertaken?
- if the storefront has been modernized at a later date, should the later alterations be kept or the building restored to its original appearance or an entirely new design chosen?
- if the building's original retail use is to be changed to office or residential, can the commercial appearance of the building be retained while accommodating the new use?

This Preservation Brief is intended to assist owners, architects, and planning officials in answering such questions about how to evaluate and preserve the character of historic storefronts. In so doing, it not only addresses the

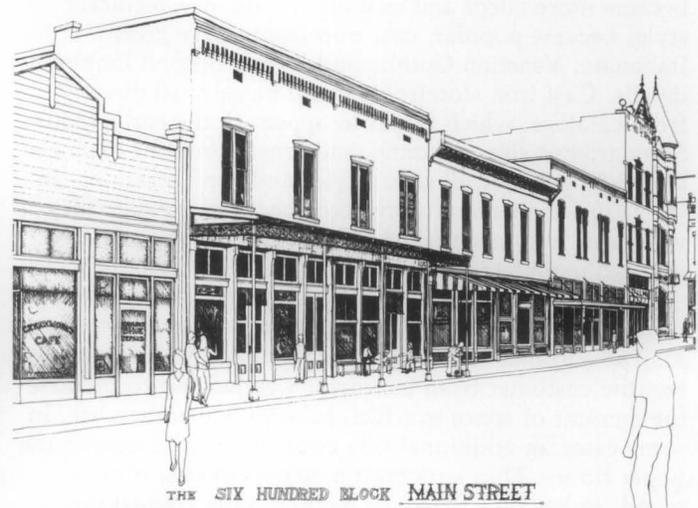


Figure 1. Inappropriate storefront alterations over the years—metal cladding, oversized signs and canopies—have detracted from the character of this historic district in Van Buren, Arkansas. A carefully considered rehabilitation plan for Main Street, including the removal of poorly designed signs, false fronts and the selection of an appropriate exterior paint color palette, serves to enhance the visual environment and preserves the district's sense of time and place. Photo above: Bob Dunn; Drawing, David Fitts

basic design issues associated with storefront rehabilitation, but recommends preservation treatments as well. Finally, although the Brief focuses on storefront rehabilitation, it is important to review this specific work in the broader context of preserving and maintaining the overall structure. Money spent on storefront rehabilitation may be completely wasted if repair and maintenance problems on the rest of the building are neglected.

Historical Overview

Commercial establishments of the 18th and early 19th centuries were frequently located on the ground floor of buildings and, with their residentially scaled windows and doors, were often indistinguishable from surrounding houses. In some cases, however, large bay or oriel windows comprised of small panes of glass set the shops apart from their neighbors. Awnings of wood and canvas and signs over the sidewalk were other design features seen on some early commercial buildings. The ground floors of large commercial establishments, especially in the first decades of the 19th century, were distinguished by regularly spaced, heavy piers of stone or brick, infilled with paneled doors or small paned window sash. Entrances were an integral component of the facade, typically not given any particular prominence although sometimes wider than other openings.

The ready availability of architectural cast iron after the 1840's helped transform storefront design as architects and builders began to experiment using iron columns and lintels at the ground floor level. Simultaneous advances in the glass industry permitted manufacturing of large panes of glass at a reasonable cost. The combination of these two technical achievements led to the storefront as we know it today—large expanses of glass framed by thin structural elements. The advertisement of the merchant and his products in the building facade and display windows quickly became critical factors in the competitive commercial atmosphere of downtowns. In the grouping of these wide-windowed facades along major commercial streets, the image of America's cities and towns radically changed.

The first cast iron fronts were simple post-and-lintel construction with little decoration. As iron craftsmen became more adept and as more ornate architectural styles became popular, cast iron fronts were given Italianate, Venetian Gothic, and French Second Empire details. Cast iron storefronts could be selected directly from catalogs, which began to appear in the early 1850's. Standardized sills, columns, and lintels could be arranged to create fronts of all sizes, styles and configurations. In the 1870's sheet metal storefronts became popular; they were also sold in standardized sizes and configurations through manufacturers' catalogs (see figure 2).

The typical 19th century storefront consisted of single or double doors flanked by display windows (see figure 3). The entrance was frequently recessed, not only to protect the customer from inclement weather but to increase the amount of space in which to display merchandise. In some cases an additional side door provided access to the upper floors. Thin structural members of cast iron or wood, rather than masonry piers, usually framed the storefront. The windows themselves were raised off the ground by wood, cast iron or pressed metal panels or bulkheads; frequently, a transom or series of transoms (consisting of single or multiple panes of glass) were

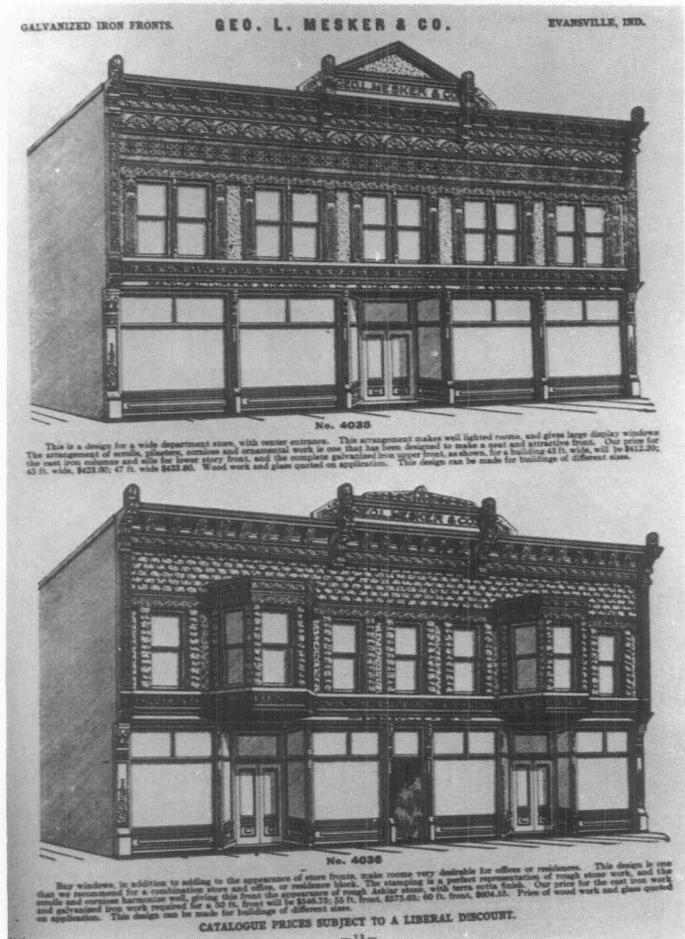


Figure 2. These 19th century galvanized iron storefronts could be purchased from George L. Mesker & Co. in Evansville, Indiana.

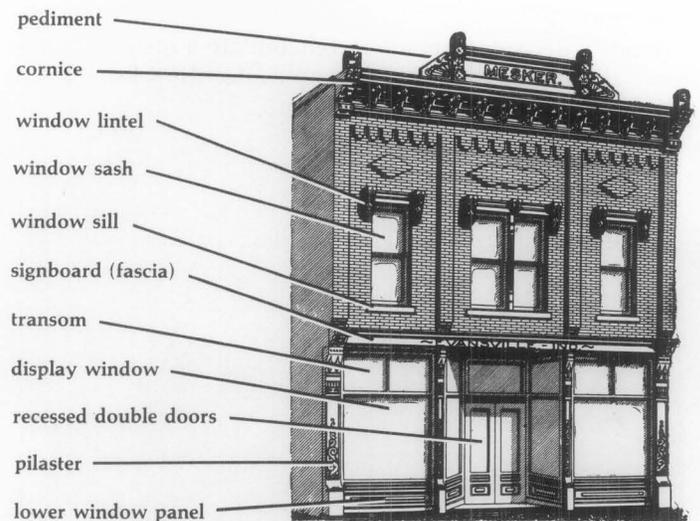


Figure 3. Become familiar with the architectural features typical of historic commercial buildings. A close look at a storefront's construction materials, features and relationship to the upper stories will help in determining how much of the original facade remains.

This particular storefront is No. 4016 in the George L. Mesker and Company catalog of 1905. One of Mesker's most popular designs, it featured cast-iron sills, columns and lintels, galvanized iron lintel and main cornice, window caps and pediment.

placed above each window and door. The signboard above the storefront (the fascia covering the structural beam) became a prominent part of the building. Canvas awnings, or in some cases tin or wooden canopies, often shaded storefronts of the late 19th century. Iron fronts were frequently put onto existing buildings as a way of giving them an up-to-date appearance. Except for expanding the display window area to the maximum extent possible and the increasing use of canvas awnings, few major technical innovations in storefront design can be detected from the 1850's through 1900.

The first decades of the 20th century saw the growing use of decorative transom lights (often using small prismatic glass panes) above display windows; in some cases, these transoms could be opened to permit air circulation into the store. Electric incandescent lights enabled storeowners to call attention to their entrance and display windows and permitted nighttime shopping. In the 1920's and 1930's a variety of new materials were introduced into the storefront, including aluminum and stainless steel framing elements, pigmented structural glass (in a wide variety of colors), tinted and mirrored glass, glass block and neon. A bewildering number of proprietary products also appeared during this period, many of which went into storefronts including Aklo, Vitrolux, Vitrolite, and Extrudalite. Highly colored and heavily patterned marble was a popular material for the more expensive storefronts of this period. Many experiments were made with recessed entries, floating display islands, and curved glass. The utilization of neon lighting further transformed store signs into elaborate flashing and blinking creations. During this period design elements were simplified and streamlined; transom and signboard were often combined. Signs utilized typefaces for the period, including such stylized lettering as "Broadway," "Fino" and "Monogram." Larger buildings of this period, such as department stores, sometimes had fixed metal canopies, with lighting and signs as an integral component of the fascia (see figure 4).

Because commercial architecture responds to a variety of factors—environmental, cultural, and economic, distinct regional variations in storefronts can be noted. Fixed metal canopies supported by guy wires, for example, were common in late 19th and early 20th century storefronts in southern states where it was advantageous to have shaded entrances all year long. Such a detail was less common in the northeast where moveable canvas awnings predominated. These awnings could be lowered in summer to keep buildings cooler and raised in winter when sunlight helps to heat the building.

Evaluating the Storefront

The important key to a successful rehabilitation of a historic commercial building is planning and selecting treatments that are sensitive to the architectural character of the storefront. As a first step, it is therefore essential to identify and evaluate the existing storefront's construction materials; architectural features; and the relationship of those features to the upper stories (see figure 5). This evaluation will permit a better understanding of the storefront's role in, and significance to, the overall design of the building. A second and equally important step in planning the rehabilitation work is a careful examination of the storefront's physical conditions to determine the ex-

tent and nature of rehabilitation work needed (see figure 6). In most cases, this examination is best undertaken by a qualified professional.



Figure 4. This storefront in New York City designed by Raymond Loewy typifies the streamlined look of the 1930's. Added to an earlier building, the front utilizes glass, stainless steel and neon to make a modern statement. This is a good example of a later storefront which has acquired significance and should be retained in any rehabilitation.



Figure 5. In some cases, as in the storefront on the extreme left, it is a simple matter to determine original appearance by looking at neighboring storefronts. Removal of the board and batten fasciabord, pent roof, and "colonial" style door, all of which could be undertaken at minimal cost, would restore the original proportions and lines of the building. Photo: Day Johnston

Guidelines for Rehabilitating Existing Historic Storefronts

1. Become familiar with the style of your building and the role of the storefront in the overall design. Don't "early up" a front. Avoid stock "lumberyard colonial" detailing such as coach lanterns, mansard overhangings, wood shakes, nonoperable shutters, and small paned windows except where they existed historically.
2. Preserve the storefront's character even though there is a new use on the interior. If less exposed window area is desirable, consider the use of interior blinds and insulating curtains rather than altering the existing historic fabric.
3. Avoid use of materials that were unavailable when the storefront was constructed; this includes vinyl and aluminum siding, anodized aluminum, mirrored or tinted glass, artificial stone, and brick veneer.
4. Choose paint colors based on the building's historical appearance. In general do not coat surfaces that have never been painted. For 19th century storefronts, contrasting colors may be appropriate, but avoid too many different colors on a single facade.



Figure 6. Storefronts of the 1940's, 50's, and 60's were frequently installed by attaching studs or a metal grid over an early front and applying new covering materials. If the existing storefront is a relatively recent addition with little or no architectural merit, begin by removing the covering materials in several places as was done here. If this preliminary investigation reveals evidence of an earlier front, such as this cast-iron column, carefully remove the later materials to assess the overall condition of the historic storefront. The black mastic visible on the lower masonry panels was used for installing pigmented structural glass. Some attachment methods for modern facings, such as mastic or metal lath, may have seriously damaged the original fabric of the building, and this must be taken into account in the rehabilitation process. Photo: Bob Dunn

The following questions should be taken into consideration in this two-part evaluation:

Construction Materials, Features, and Design Relationships

Storefront's Construction Materials: What are the construction materials? Wood? Metal? Brick or other masonry? A combination?

Storefront's Architectural Features: What are the various architectural features comprising the storefront and how are they arranged in relationship to each other?

- **Supporting Columns/Piers:**
What do the columns or piers supporting the storefront look like? Are they heavy or light in appearance? Are they flush with the windows or do they protrude? Are they all structural elements or are some columns decorative?
- **Display Windows and Transoms:**
Are the display windows and transoms single panes of glass or are they subdivided? Are they flush with the

facade or are they recessed? What is the proportion of area between the display windows and transom? Are there window openings in the base panels to allow natural light into the basement?

- **Entrances:**
Are the entrances centered? Are they recessed? Is one entrance more prominent than the others? How is the primary retail entrance differentiated from other entrances? Is there evidence that new entrances have been added or have some been relocated? Are the doors original or are they later replacements?
- **Decorative Elements:**
Are there any surviving decorative elements such as molded cornices, column capitals, fascia boards, brackets, signs, awnings or canopies? Is there a belt-course, cornice, or fascia board between the first and second floor? Are some elements older than others indicating changes over time?

Storefront's Relationship to Upper Stories: Is there a difference in materials between the storefront and upper stories? Were the storefront and floors above it created as an overall design or were they very different and unrelated to each other?

It is also worthwhile to study the neighboring commercial buildings and their distinctive characteristics to look for similarities (canopies, lighting, signs) as well as differences. This can help determine whether the storefront in question is significant and unique in its own right and/or whether it is significant as part of an overall commercial streetscape.

Physical Condition

Mild Deterioration: Do the surface materials need repair? Is paint flaking? Are metal components rusting? Do joints need recaulking where materials meet glass windows? Mild deterioration generally requires only maintenance level treatments.

Moderate Deterioration: Can rotted or rusted or broken sections of material be replaced with new material to match the old? Can solid material (such as Carrara glass) from a non-conspicuous location be used on the historic facade to repair damaged elements? Do stone or brick components need repointing? Is the storefront watertight with good flashing connections? Are there leaky gutters or air conditioner units which drip condensation on the storefront? Is caulking needed? Moderate deterioration generally requires patching or splicing of the existing elements with new pieces to match the deteriorated element.

Severe Deterioration: Have existing facing materials deteriorated beyond repair through vandalism, settlement, or water penetration? Is there a loss of structural integrity? Is the material rusted through, rotted, buckling, completely missing? Are structural lintels sagging? Are support columns settled or out of alignment? Severe deterioration generally requires replacement of deteriorated elements as part of the overall rehabilitation.

In evaluating whether the existing storefront is worthy of preservation, recognize that good design can exist in any period; a storefront added in 1930 may have greater architectural merit than what is replaced (see figure 4). In commercial historic districts, it is often the diversity of

styles and detailing that contribute to the character; removing a storefront dating from 1910 simply because other buildings in the district have been restored to their 1860's appearance may not be the best preservation approach. If the storefront design is a good example of its period and if it has gained significance over time, it should be retained as part of the historical evolution of the building (this architectural distinctiveness could also be an economic asset as it may attract attention to the building).

Deciding a Course of Action

The evaluation of the storefront's architectural features and physical condition will help determine the best course of action in the actual rehabilitation work. The following recommendations, adapted from the Secretary of the Interior's "Standards for Rehabilitation" and the accompanying interpretive guidelines, are designed to ensure that the historic commercial character of the building is retained in the rehabilitation process.

If the original or significant storefront exists, repair and retain the historic features using recommended treatments (see following sections on rehabilitating metal, wood and masonry storefronts as well as the guidelines for rehabilitating existing historic storefronts found on page 3).

If the original or significant storefront no longer exists or is too deteriorated to save, undertake a contemporary design which is compatible with the rest of the building in scale, design, materials, color and texture; or undertake an accurate restoration based on historical research and physical evidence (see section on "Replacement Storefronts"). Where an original or significant storefront no longer exists and *no* evidence exists to document its early appearance, it is generally preferable to undertake a contemporary design that retains the commercial "flavor" of the building. The new storefront design should not draw attention away from the historic building with its detailing but rather should respect the existing historic character of the overall building. A new design that copies traditional details or features from neighboring buildings or other structures of the period may give the building a historical appearance which blends in with its neighbors but which never, in fact, existed. For this reason, use of conjectural designs, even if based on similar buildings elsewhere in the neighborhood or the availability of different architectural elements from other buildings or structures, is generally not recommended.

Rehabilitating Metal Storefronts

Rehabilitating metal storefronts can be a complex and time-consuming task. Before steps are taken to analyze or treat deteriorated storefronts, it is necessary to know which metal is involved, because each has unique properties and distinct preservation treatments. Storefronts were fabricated using a variety of metals, including cast iron, bronze, copper, tin, galvanized sheet iron, cast zinc, and stainless steel. Determining metallic composition can be a difficult process especially if components are encrusted with paint. Original architect's specifications (sometimes available from permit offices, town halls, or records of the original owner) can be important clues in this regard and should be checked if at all possible.

Iron—a magnetic, gray-white malleable metal, readily susceptible to oxidation. Cast iron, most commonly found in storefronts, is shaped by molds and can withstand great compressive loads. Rolled sheet iron, sometimes galvanized with zinc, also was used in storefront construction. Stainless steel began to appear in storefronts after 1930.

Zinc—a medium-hard, bluish-white metal, widely used as a protective coating for iron and steel. It is softer than iron and is nonmagnetic.

Copper—a nonmagnetic, corrosion-resistant, malleable metal, initially reddish-brown but when exposed to the atmosphere turns brown to black to green.

Bronze and brass—nonmagnetic, abrasive-resistant alloys combining copper with varying amounts of zinc, lead, or tin. These copper alloys, more commonly found in office buildings or large department stores, range in color from lemon yellow to golden brown to green depending on their composition and are well suited for casting (see figure 7).

Aluminum—a lightweight, nonmagnetic metal commonly found on storefronts dating from the 1920's and 30's. Its brightness and resistance to corrosion has made it a popular storefront material in the 20th century.

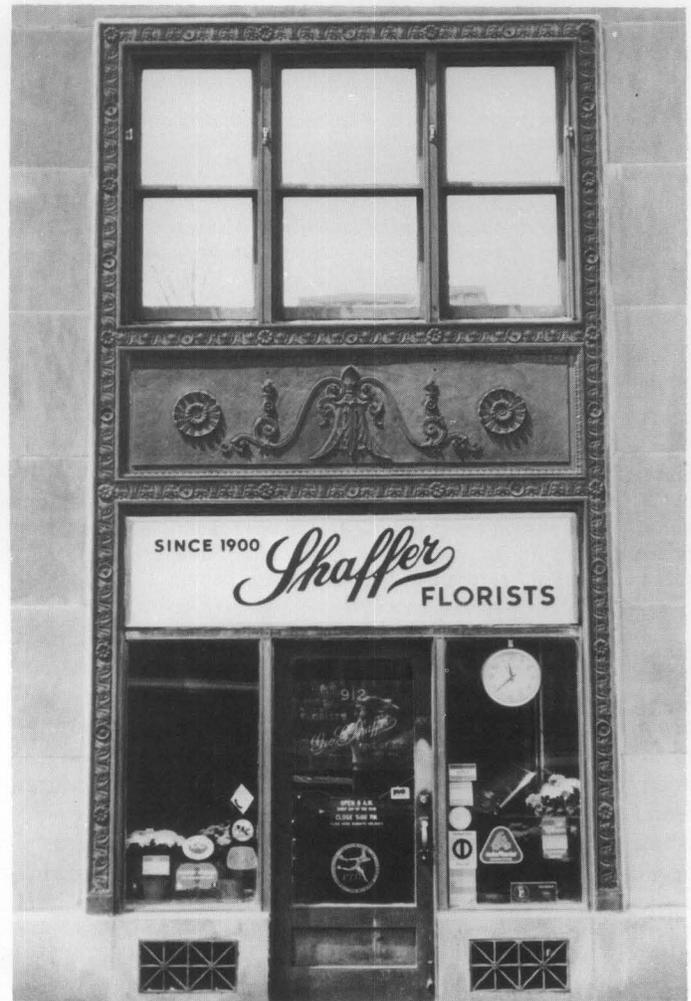


Figure 7. Part of a large office building constructed in Washington, D.C. in 1928, this finely detailed bronze storefront is typical of many constructed during this period. It should be noted that the original grilles, spandrel panel and window above are all intact. Photo: David W. Look, AIA

Repair and Replacement of Metal

Simply because single components of a storefront need repair or replacement should not be justification for replacing an entire storefront. Deteriorated metal architectural elements can be repaired by a variety of means, although the nature of the repair will depend on the extent of the deterioration, the type of metal and its location, and the overall cost of such repairs. Patches can be used to mend, cover or fill a deteriorated area. Such patches should be a close match to the original material to prevent galvanic corrosion. Splicing—replacement of a small section with new material—should be undertaken on structural members only when temporary bracing has been constructed to carry the load. Reinforcing—or bracing the damaged element with additional new metal material—can relieve fatigue or overloading in some situations.

If metal components have deteriorated to a point where they have actually failed (or are missing), replacement is the only reasonable course of action. If the components are significant to the overall design of the storefront, they should be carefully removed and substituted with components that match the original in material, size and detailing (see figure 8).



Figure 8. When the Grand Opera House in Wilmington, Delaware, was rehabilitated, missing cast-iron columns were cast of aluminum to match the original; in this particular case, because these columns do not carry great loads, aluminum proved to be successful substitute. Photo: John G. Waite

Before going to the expense of reproducing the original, it may be useful to check salvage yards for compatible components. Missing parts of cast iron storefronts can be replaced by new cast iron members that are reproductions of the original. New wooden patterns, however, usually need to be made if the members are large. This procedure tends to be expensive (it is usually impossible to use existing iron components as patterns to cast large elements because cast iron shrinks 1/5 inch per foot as it cools). In some situations, less expensive substitute materials such as aluminum, wood, plastics, and fiberglass, painted to match the metal, can be used without compromising the architectural character of the resource.

Cleaning and Painting

Cast iron storefronts are usually encrusted with layers of paint which need to be removed to restore crispness to the details. Where paint build-up and rust are not severe

problems, handscraping and wire-brushing are viable cleaning methods. While it is necessary to remove all rust before repainting, it is not necessary to remove all paint. For situations involving extensive paint build-up and corrosion, mechanical methods such as low-pressure gentle dry grit blasting (80-100 psi) can be effective and economical, providing a good surface for paint. Masonry and wood surfaces adjacent to the cleaning area, however, should be protected to avoid inadvertent damage from the blasting. It will be necessary to recaulk and putty the heads of screws and bolts after grit blasting to prevent moisture from entering the joints. Cleaned areas should be painted immediately after cleaning with a rust-inhibiting primer to prevent new corrosion. Before any cleaning is undertaken, local codes should be checked to ensure compliance with environmental safety requirements.

Storefronts utilizing softer metals (lead, tin), sheet metals (sheet copper), and plated metals (tin and terneplate) should not be cleaned mechanically (grit blasting) because their plating or finish can be easily abraded and damaged. It is usually preferable to clean these softer metals with a chemical (acid pickling or phosphate dipping) method. Once the surface of the metal has been cleaned of all corrosion, grease, and dirt, a rust-inhibiting primer coat should be applied. Finish coats especially formulated for metals, consisting of lacquers, varnishes, enamels or special coatings, can be applied once the primer has dried. Primer and finish coats should be selected for chemical compatibility with the particular metal in question.

Bronze storefronts, common to large commercial office buildings and major department stores of the 20th century, can be cleaned by a variety of methods; since all cleaning removes some surface metal and patina, it should be undertaken only with good reason (such as the need to remove encrusted salts, bird droppings or dirt). Excessive cleaning can remove the texture and finish of the metal. Since this patina can protect the bronze from further corrosion, it should be retained if possible. If it is desirable to remove the patina to restore the original surface of the bronze, several cleaning methods can be used: chemical compounds including rottenstone and oil, whitening and ammonia, or precipitated chalk and ammonia, can be rubbed onto bronze surfaces with a soft, clean cloth with little or no damage. A number of commercial cleaning companies successfully use a combination of 5% oxalic acid solution together with finely ground India pumice powder. Fine glass-bead blasting (or peening) and crushed walnut shell blasting also can be acceptable mechanical methods if carried out in controlled circumstances under low (80-100 psi) pressure. Care should be taken to protect any adjacent wood or masonry from the blasting.

The proper cleaning of metal storefronts should not be considered a "do-it-yourself" project. The nature and condition of the material should be assessed by a competent professional, and the work accomplished by a company specializing in such work.

Rehabilitating Wooden Storefronts

The key to the successful rehabilitation of wooden storefronts is a careful evaluation of existing physical conditions. Moisture, vandalism, insect attack, and lack of maintenance can all contribute to the deterioration of wooden storefronts. Paint failure should not be mistaken-

ly interpreted as a sign that the wood is in poor condition and therefore irreparable. Wood is frequently in sound physical condition beneath unsightly paint. An ice pick or awl may be used to test wood for soundness—decayed wood that is jabbed will lift up in short irregular pieces; sound wood will separate in long fibrous splinters.

Repair and Replacement of Wood

Storefronts showing signs of physical deterioration can often be repaired using simple methods. Partially decayed wood can be patched, built up, chemically treated or consolidated and then painted to achieve a sound condition, good appearance, and greatly extended life.

To repair wood showing signs of rot, it is advisable to dry the wood; carefully apply a fungicide such as pentachlorophenol (a highly toxic substance) to all decayed areas; then treat with 2 or 3 applications of boiled linseed oil (24 hours between applications). Afterward, fill cracks and holes with putty; caulk the joints between the various wooden members; and finally prime and paint the surface.

Partially decayed wood may also be strengthened and stabilized by consolidation, using semi-rigid epoxies which saturate porous decayed wood and then harden. The consolidated wood can then be filled with a semi-rigid epoxy patching compound, sanded and painted. More information on epoxies can be found in the publication "Epoxies for Wood Repairs in Historic Buildings," cited in the bibliography.

Where components of wood storefronts are so badly deteriorated that they cannot be stabilized, it is possible to replace the deteriorated parts with new pieces (see figure 9). These techniques all require skill and some expense, but are recommended in cases where decorative elements, such as brackets or pilasters, are involved. In some cases, missing edges can be filled and rebuilt using wood putty or epoxy compounds. When the epoxy cures, it can be sanded smooth and painted to achieve a durable and waterproof repair.



Figure 9. Rather than replace an entire wooden storefront when there is only localized deterioration, a new wooden component can be pieced-in, as seen here in this column base. The new wood will need to be given primer and top coats of a high quality exterior paint—either an oil-base or latex system. Also wood that is flaking and peeling should be scraped and hand-sanded prior to repainting. Photo: H. Ward Jandl

Repainting of Wood

Wooden storefronts were historically painted to deter the harmful effects of weathering (moisture, ultraviolet rays from the sun, wind, etc.) as well as to define and accent architectural features. Repainting exterior woodwork is thus an inexpensive way to provide continued protection from weathering and to give a fresh appearance to the storefront.

Before repainting, however, a careful inspection of all painted wood surfaces needs to be conducted in order to determine the extent of surface preparation necessary, that is, whether the existing layers of paint have deteriorated to the point that they will need to be partially or totally removed prior to applying the new paint.

As a general rule, removing paint from historic exterior woodwork should be avoided unless absolutely essential. Once conditions warranting removal have been identified, however, paint can be removed to the next sound layer using the gentlest method possible, then the woodwork repainted. For example, such conditions as mildewing, excessive chalking, or staining (from the oxidization of rusting nails or metal anchorage devices) generally require only thorough surface cleaning prior to repainting. Intercoat peeling, solvent blistering, and wrinkling require removal of the affected layer using mild abrasive methods such as hand scraping and sanding. In all of these cases of limited paint deterioration, after proper surface preparation the exterior woodwork may be given one or more coats of a high quality exterior oil finish paint.

On the other hand, if painted wood surfaces display continuous patterns of deep cracks or if they are extensively blistering and peeling so that bare wood is visible, the old paint should be completely removed before repainting. (It should be emphasized that because peeling to bare wood—the most common type of paint problem—is most often caused by excess interior or exterior moisture that collects behind the paint film, the first step in treating peeling is to locate and remove the source or sources of moisture. If this is not done, the new paint will simply peel off.)

There are several acceptable methods for total paint removal, depending on the particular wooden element involved. They include such thermal devices as an electric heat plate with scraper for flat surfaces such as siding, window sills, and doors or an electric hot-air gun with profiled scraper for solid decorative elements such as gingerbread or molding. Chemical methods play a more limited, supplemental role in removing paint from historic exterior woodwork; for example, caustic or solvent-base strippers may be used to remove paint from window muntins because thermal devices can easily break the glass. Detachable wooden elements such as exterior shutters, balusters and columns, can probably best be stripped by means of immersion in commercial dip tanks because other methods are too laborious. Care must be taken in rinsing all chemical residue off the wood prior to painting or the new paint will not adhere.

Finally, if the exterior woodwork has been stripped to bare wood, priming should take place within 48 hours (unless the wood is wet, in which case it should be permitted to dry before painting). Application of a high quality oil type exterior primer will provide a surface over which either an oil or latex top coat can be successfully used.

Rehabilitating Masonry Storefronts

Some storefronts are constructed of brick or stone, and like their metal and wooden counterparts, also may have been subjected to physical damage or alterations over time. Although mortar may have disintegrated, inappropriate surface coatings applied, and openings reduced or blocked up, careful rehabilitation will help restore the visual and physical integrity of the masonry storefront.

Repair and Replacement of Masonry

If obvious signs of deterioration—disintegrating mortar, spalling bricks or stone—are present, the causes (ground moisture, leaky downspouts, etc.) should be identified and corrected. Some repointing may be necessary on the masonry surface, but should be limited to areas in which so much mortar is missing that water accumulates in the mortar joints, causing further deterioration. New mortar should duplicate the composition, color, texture, and hardness, as well as the joint size and profile of the original. Badly spalling bricks may have to be replaced. Deteriorated stone may be replaced in kind, or with a matching substitute material; in some cases where not visually prominent, it may be covered with stucco, possibly scored to resemble blocks of stone.

Cleaning Masonry

Inappropriate cleaning techniques can be a major source of damage to historic masonry buildings. Historic masonry should be cleaned only when necessary to halt deterioration or to remove graffiti and stains, and always with the gentlest means possible, such as water and a mild detergent using natural bristle brushes, and/or a non-harmful chemical solution, both followed by a low-pressure water rinse.

It is important to remember that many mid-19th century brick buildings were painted immediately or soon after construction to protect poor quality brick or to imitate stone. Some historic masonry buildings not originally painted were painted at a later date to hide alterations or repairs, or to solve recurring maintenance or moisture problems. Thus, whether for reasons of historical tradition or practicality, it may be preferable to retain existing paint. If it is readily apparent that paint is not historic and is a later, perhaps unsightly or inappropriate treatment, removal may be attempted, but only if this can be carried out without damaging the historic masonry. Generally, paint removal from historic masonry may be accomplished successfully only with the use of specially formulated chemical paint removers. No abrasive techniques, such as wet or dry sandblasting should be considered. If non-historic paint cannot be removed without using abrasive methods, it is best to leave the masonry painted, although repainting in a compatible color may help visually.

Removing unsightly mastic from masonry presents a similarly serious problem. Its removal by mechanical means may result in abrading the masonry, and chemical and heat methods may prove ineffective, although solvents like acetone will aid in softening the hardened mastic. If the mastic has become brittle, a flat chisel may be used to pop it off; but this technique, if not undertaken with care, may result in damaging the masonry. And even if total removal is possible, the mastic may have permanently stained the masonry. Replacement of these masonry sec-

tions marred by mastic application may be one option in limited situations; individual pieces of stone or bricks that have been damaged by inappropriate alterations may be cut out and replaced with new pieces that duplicate the original. However, since an exact match will be nearly impossible to achieve, it may be necessary to paint the repaired masonry in order to create a harmonious facade. Replacement of a large area with new materials may not be acceptable as it may give the building a new, non-historic appearance inappropriate to the building style and period.

Designing Replacement Storefronts

Where an architecturally or historically significant storefront no longer exists or is too deteriorated to save, a new front should be designed which is compatible with the size, scale, color, material, and character of the building. Such a design should be undertaken based on a thorough understanding of the building's architecture and, where appropriate, the surrounding streetscape (see figure 10). For example, just because upper floor windows are arched is not sufficient justification for designing arched openings for the new storefront. The new design should "read" as a storefront; filling in the space with brick or similar solid material is inappropriate for historic buildings. Similarly the creation of an arcade or other new design element, which alters the architectural and historic character of the building and its relationship with the street, should be avoided. The guidelines on page 8 can assist in developing replacement storefront designs that respect the historic character of the building yet meet current economic and code requirements.

Guidelines for Designing Replacement Storefronts

1. *Scale:* Respect the scale and proportion of the existing building in the new storefront design.
2. *Materials:* Select construction materials that are appropriate to the storefronts; wood, cast iron, and glass are usually more appropriate replacement materials than masonry which tends to give a massive appearance.
3. *Cornice:* Respect the horizontal separation between the storefront and the upper stories. A cornice or fascia board traditionally helped contain the store's sign.
4. *Frame:* Maintain the historic planar relationship of the storefront to the facade of the building and the streetscape (if appropriate). Most storefront frames are generally composed of horizontal and vertical elements.
5. *Entrances:* Differentiate the primary retail entrance from the secondary access to upper floors. In order to meet current code requirements, out-swinging doors generally must be recessed. Entrances should be placed where there were entrances historically, especially when echoed by architectural detailing (a pediment or projecting bay) on the upper stories.
6. *Windows:* The storefront generally should be as transparent as possible. Use of glass in doors, transoms, and display areas allows for visibility into and out of the store.
7. *Secondary Design Elements:* Keep the treatment of secondary design elements such as graphics and awnings as simple as possible in order to avoid visual clutter to the building and its streetscape.

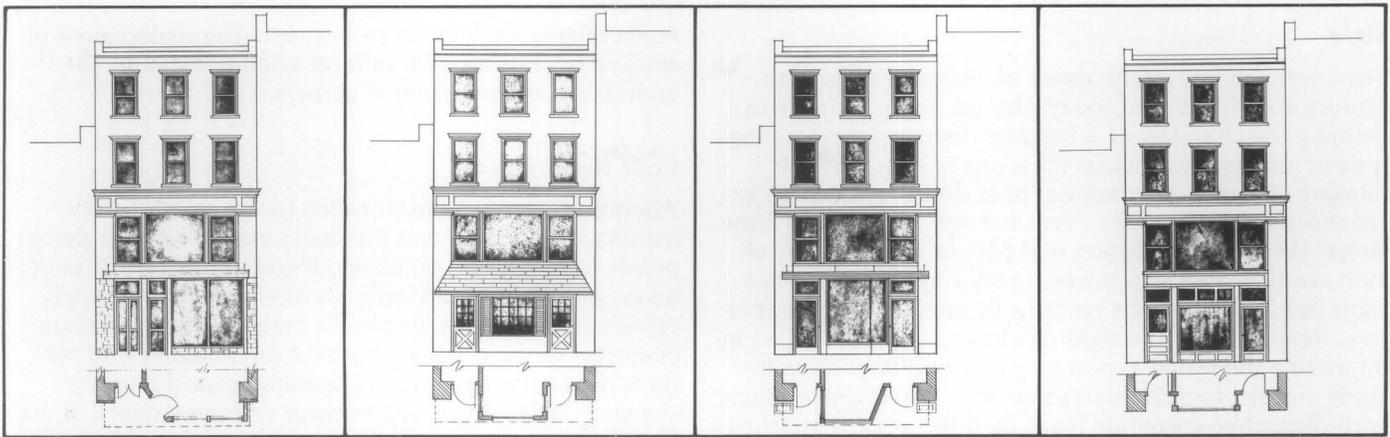


Figure 10. (A) This existing storefront, added in the 1950's to a late 19th century brick building, extends beyond the plane of the facade; faced with anodized aluminum and permastone, it does not contribute to the architectural and historic character of the building. (B) This replacement design uses "lumberyard colonial" detailing, such as barn-type doors, shutters, small paned windows, and a wood shake pent roof. The design, detailing, and choice of materials are clearly inappropriate to this commercial building. (C) This replacement design retains the 1950's projecting canopy but symmetrical placement of the doors relates well to the second floor windows above; this contemporary design is compatible with the scale and character of the building. (D) This replacement design accurately restores the original appearance of the building; based on historical research and physical evidence, it too is an acceptable preservation approach. Drawings: Sharon C. Park, AIA

A restoration program requires thorough documentation of the historic development of the building prior to initiating work. If a restoration of the original storefront is contemplated, old photographs and prints, as well as physical evidence, should be used in determining the form and details of the original. Because storefronts are particularly susceptible to alteration in response to changing marketing techniques, it is worthwhile to find visual documentation from a variety of periods to have a clear understanding of the evolution of the storefront. Removal of later additions that contribute to the character of the building should not be undertaken.

Other Considerations

Pigmented Structural Glass

The rehabilitation of pigmented structural glass storefronts, common in the 1930's, is a delicate and often frustrating task, due to the fragility and scarcity of the material. Typically the glass was installed against masonry walls with asphaltic mastic and a system of metal shelf angles bolted to the walls on three-foot centers. Joints between the panels were filled with cork tape or an elastic joint cement to cushion movement and prevent moisture infiltration.

The decision to repair or replace damaged glass panels should be made on a case-by-case basis. In some instances, the damage may be so minor or the likelihood of finding replacement glass so small, that repairing, reanchoring and/or stabilizing the damaged glass panel may be the only prudent choice. If the panel is totally destroyed or missing, it may be possible to replace with glass salvaged from a demolition; or a substitute material, such as "spandrel glass," which approximates the appearance of the original. Although pigmented structural glass is no longer readily available, occasionally long-established glass "jobbers" will have a limited supply to repair historic storefronts.

Awnings

Where based on historic precedent, consider the use of canvas awnings on historic storefronts (see figure 11).

Awnings can help shelter passersby, reduce glare, and conserve energy by controlling the amount of sunlight hitting the store window, although buildings with northern exposures will seldom functionally require them. Today's canvas awnings have an average life expectancy of between 4 and 7 years. In many cases awnings can disguise, in an inexpensive manner, later inappropriate alterations and can provide both additional color and a strong store identification. Fixed aluminum awnings and awnings simulating mansard roofs and umbrellas are generally inappropriate for older commercial buildings. If awnings are added, choose those that are made from soft canvas or vinyl materials rather than wood or metal; be certain that they are installed without damaging the building or visually impairing distinctive architectural features and can be operable for maximum energy conservation effect.

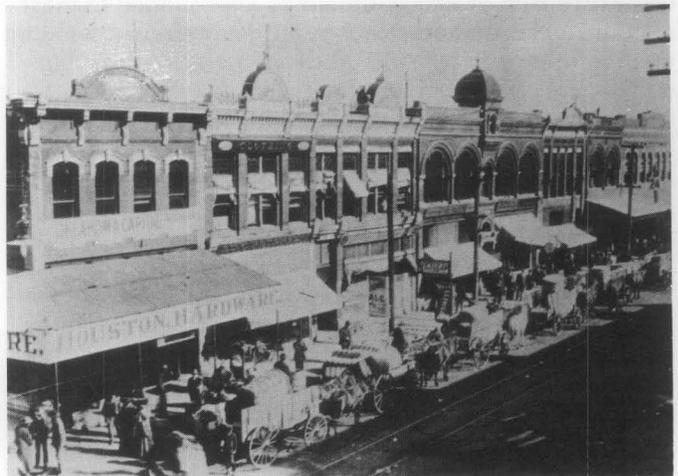


Figure 11. Try to locate old photographs or prints to determine what alterations have been made to the storefront and when they were undertaken. Awnings were common elements of storefronts at the turn of the century. They can be equally useful today.

Signs

Signs were an important aspect of 19th and early 20th century storefronts and today play an important role in defining the character of a business district. In examining historic streetscape photographs, one is struck by the number of signs—in windows, over doors, painted on exterior walls, and hanging over (and sometimes across) the street. While this confusion was part of the character of 19th century cities and towns, today's approach toward signs in historic districts tends to be much more conservative. Removal of some signs can have a dramatic effect in improving the visual appearance of a building; these include modern backlit fluorescent signs, large applied signs with distinctive corporate logos, and those signs attached to a building in such a way as to obscure significant architectural detailing. For this reason, their removal is encouraged in the process of rehabilitation. If new signs are designed, they should be of a size and style compatible with the historic building and should not cover or obscure significant architectural detailing or features. For many 19th century buildings, it was common to mount signs on the lintel above the first story. Another common approach, especially at the turn of the century, was to paint signs directly on the inside of the display windows. Frequently this was done in gold leaf. New hanging signs may be appropriate for historic commercial buildings, if they are of a scale and design compatible with the historic buildings. Retention of signs and advertising painted on historic walls, if of historic or artistic interest (especially where they provide evidence of early or original occupants), is encouraged.

Paint Color

Paint analysis can reveal the storefront's historic paint colors and may be worth undertaking if a careful restoration is desired. If not, the paint color should be, at a minimum, appropriate to the style and setting of the building. This also means that if the building is in a historic district, the color selection should complement the building in question as well as other buildings in the block. In general, color schemes for wall and major decorative trim or details should be kept simple; in most cases the color or colors chosen for a storefront should be used on other painted exterior detailing (windows, shutter, cornice, etc.) to unify upper and lower portions of the facade.

Windows

Glass windows are generally the most prominent features in historic storefronts, and care should be taken to ensure that they are properly maintained. For smaller paned windows with wooden frames, deteriorated putty should be removed manually, taking care not to damage wood along the rabbet. To reglaze, a bead of linseed oil-based putty should be laid around the perimeter of the rabbet; the glass pane pressed into place; glazing points inserted to hold the pane; and a final seal of putty beveled around the edge of the glass. For metal framed windows, glazing compound and special glazing clips are used to secure the glass; a final seal of glazing compound then is often applied. If the glass needs replacing, the new glass should match the original in size, color and reflective qualities. Mirrored or tinted glass are generally inappropriate

replacements for historic storefronts. The replacement of cracked or missing glass in large windows should be undertaken by professional glaziers.

Code Requirements

Alterations to a storefront called for by public safety, handicapped access, and fire codes can be difficult design problems in historic buildings. Negotiations can be undertaken with appropriate officials to ensure that all applicable codes are being met while maintaining the historic character of the original construction materials and features. If, for instance, doors opening inward must be changed, rather than replace them with new doors, it may be possible to reverse the hinges and stops so that they will swing outward.

Summary

A key to the successful rehabilitation of historic commercial buildings is the sensitive treatment of the first floor itself (see figure 12). Wherever possible, significant storefronts (be they original or later alterations), including windows, sash, doors, transoms, signs and decorative features, should be repaired in order to retain the historic character of the building. Where original or early storefronts no longer exist or are too deteriorated to save, the commercial character of the building should nonetheless be preserved—either through an accurate restoration based on historic research and physical evidence or a contemporary design which is compatible with the scale, design, materials, color and texture of the historic building. The sensitive rehabilitation of historic storefronts will not only enhance the architectural character of the overall building but will contribute to rejuvenating neighborhoods or business districts as well.



Figure 12. This photograph of three late 19th century commercial buildings clearly shows the impact of preserving and rehabilitating storefronts. The one on the right has been totally obscured by a "modern" front added in the 1950's. Although inappropriate alterations have taken place on the left storefront, it is still possible to determine the original configuration of the doors and display windows. The storefront in the middle has remained intact. Although in need of some minor maintenance work, the appeal of the original design and materials is immediately apparent.

Additional Reading

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This publication has been prepared pursuant to the Economic Recovery Tax Act of 1981 which directs the Secretary of the Interior to certify rehabilitations of historic buildings that are consistent with their historic character; the advice and guidance provided in this brief will assist property owners in complying with the requirements of this law.

Preservation Briefs 11 has been developed under the technical editorship of Lee H. Nelson, AIA, Chief, Preservation Assistance Division, National Park Service, U.S. Department of the Interior, Washington, D.C. 20240. Comments on the usefulness of this information are welcomed and can be sent to Mr. Nelson at the above address.

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Cover drawing: This woodcut of the Joy Building, built in 1808 in Boston, shows early storefronts with shutters; note the profusion of signs covering the facade, advertising the services of the tenants.

September 1982

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HISTORIC DISTRICT COUNCIL STAFF REPORT
HDC 2016-27
November 17, 2016

Owner/Applicant:	Donna Lynne VanPuymbrouck				
Property Address:	14 S 2 nd Street				
Requested action:	Certificate of Approval (COA) to demolish, a non-contributing accessory structure on the NE corner of the site.				
Current zoning:	C-3				
FLUM land use category:	Central Business District				
Existing uses on the site:	Restaurant				
Year Built:	1914 (Tax Appraiser) 1914 (FL Master Site File)				
Contributing Status:	Non-Contributing				
Adjacent Properties:	North	Office	c. 1884	C-3	
	South	Commercial	N/A	C-3	Vacant
	East	Restaurant	c. 2005	C-3	
	West	Retail/Office	c. 1900	C-3	

All required application materials have been received. All fees have been paid. All required notices have been made.



SUMMARY OF REQUEST AND BACKGROUND INFORMATION:

Applicant is proposing to demolish an 80 sq. ft. storage shed located at the northeast corner of the property. The shed is a wood-framed structure with asphalt-shingled roof. The shed is concealed from view from 2nd and 3rd streets by a wooden privacy fence on the west side and the adjacent property to the east. The proposal to reconstruct the shed is part of HDC 2016-28.

APPLICABLE GUIDELINES:

Secretary of the Interior's Standards for Rehabilitation

1. **A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**
Findings: Complies Does not Comply N/A
2. **The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**
Findings: Complies Does not Comply N/A
3. **Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**
Findings: Complies Does not Comply N/A
4. **Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.**
Findings: Complies Does not Comply N/A
5. **Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.**
Findings: Complies Does not Comply N/A
6. **Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.**
Findings: Complies Does not Comply N/A
7. **Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**
Findings: Complies Does not Comply N/A
8. **Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.**
Findings: Complies Does not Comply N/A

9. **New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**
Findings: Complies Does not Comply N/A
10. **New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**
Findings: Complies Does not Comply N/A

CITY OF FERNANDINA BEACH LAND DEVELOPMENT CODE

8.01.01.01 Standards for Development in the Historic District Overlays

- A. *The review of proposed development within the Historic District Overlays shall be based upon the latest edition of Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings from the U.S. Secretary of Interior.*
- B. *The review of proposed development within the Historic District Overlay shall also be based upon compliance with the Downtown Historic District Guidelines, dated December 1999, as amended from time to time. The review of proposed development within Old Town shall be based upon compliance with the Old Town Preservation and Development Guidelines, dated June 1999, as amended from time to time.*
- C. *In addition to standards applicable to the underlying zoning district, new construction within the Historic District Overlay shall be compatible with the existing character of the landmark or the district. Compatible design means architectural design and construction that will fit harmoniously into the district or the landmark site. New construction shall be compatible in scale, materials, and quality of construction with adjacent buildings and structures that have been designated.*

8.02.02 Historic District Council Roles and Responsibilities

The HDC shall have the duty and responsibility to:

- C. *Review and approve or deny applications for a certificate of Approval for construction, alteration, demolition, or removal of historic landmarks, historic sites, archaeological sites, properties in historic districts, or properties in the CRA Overlay.*

8.03.03.01 Requirements for Demolition Applications

A. *Application requirements.*

Application for a Certificate of Approval for any demolition of a primary building or structure (contributing or noncontributing) located within a locally designated historic district or the CRA shall be submitted by the property owner to the HDC. No building or structure in a locally designated historic district or the CRA shall be demolished without approval by the HDC, unless by a superseding order of a government agency or a court of competent jurisdiction.

B. Public hearings and notice requirements.

Certificate of Approvals for demolition applications are to be heard in accordance with HDC hearing requirements for Certificate of Approval applications and noticed in accordance with City requirements for public hearings.

C. Review criteria for demolition applications.

In evaluating applications for a Certificate of Approval for demolition, the HDC shall consider the following:

- 1. Whether the structure or site would meet national, state, or local criteria for designation;*
- 2. Whether the structure or site is a contributing structure or site to a locally designated or National Register historic district;*
- 3. Whether loss of the structure or site would deteriorate the quality or continuity of the historic district, or the surrounding neighborhood;*
- 4. Whether the structure or site is of such design, craftsmanship, or material that it could be reproduced only with great difficulty and/or expense;*
- 5. Whether the structure or site is one of the last remaining examples of its kind in the neighborhood, county or region, or is a distinctive example of an architectural or design style which contributes to the character of the district;*
- 6. Whether removal of the structure or site would destroy the historic relationship between structures or open space;*
- 7. Whether retention of the structure or site promotes the general welfare of the City by providing an opportunity for study of local history, architecture, and design, or by developing an understanding of the importance and value of a particular culture and heritage;*
- 8. Whether the applicant has made good faith efforts to pursue alternatives to demolition;*
- 9. Whether the applicant will be denied a reasonable return on his or her investment;*
- 10. Whether there is economic hardship for the applicant as demonstrated by requirements in Section 8.03.06;*
- 11. Whether the Code Enforcement and Appeals Board has recommended demolition of the structure.*

D. Written evidence.

The HDC may request the following written evidence be submitted as part of an application for a Certificate of Approval for demolition:

- 1. A report from a certified property appraiser stating that such structure as it exists will not earn a reasonable economic return for the owner.*
- 2. A report from a certified property appraiser as to the estimated market value of the property both in its current condition and after completion of the proposed demolition or removal.*
- 3. A report from a licensed engineer or architect with experience in rehabilitation as to the structural soundness of the structure and its suitability for rehabilitation and/or relocation.*
- 4. An estimate from an architect, developer, real estate consultant, or appraiser experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure in its current location or in any proposed new location.*

E. Demolition delay period.

The HDC may grant a Certificate of Approval for demolition as requested by a property owner which may provide for a delayed effective date. The effective date of the certificate will be determined by the HDC based on the relative significance of the structure and the probable time required to arrange a possible alternative to demolition. The HDC may delay the demolition of contributing buildings within locally designated historic districts for up to six months, and for non-

contributing buildings within locally designated historic districts for up to three months. During the delay period, the HDC may take such steps as it deems necessary to preserve the structure requested to be demolished and ensure that the structure is secured and stabilized. Such steps may include, but are not limited to, consultation with community groups, public agencies, and interested citizens; recommendations for acquisition of property by public or private bodies or agencies; and exploration of the possibility of moving the structure to a new location.

F. Special requests precedent to demolition.

The HDC may, with the consent of the property owner and at the property owner's expense, request that the owner salvage and preserve building materials, architectural details and ornamentation, fixtures and the like for reuse in the restoration of other historic properties. At the HDC's discretion, and with the property owner's consent, the HDC, Amelia Island Museum of History, or other local historical organizations at their expense, may salvage and preserve building materials, architectural details and ornamentation, fixtures, and the like. The HDC may, with the consent of the property owner and at the property owner's expense, recommend recording the architectural details for archival purposes prior to demolition. This recording may include, but is not limited to, photographs, videotaping, historical background information, and scaled architectural drawings.

G. Denial of Certificate of Approval for demolition.

The HDC's refusal to grant a Certificate of Approval for demolition requested by a property owner shall be supported by a written statement describing the public interest that the HDC seeks to preserve.

CITY OF FERNANDINA BEACH DOWNTOWN HISTORIC DISTRICT DESIGN GUIDELINES: DEMOLITION

Application for a Certificate of Approval for any demolition of a primary building or structure (contributing or noncontributing) located within a locally designated historic district or the CRA shall be submitted by the property owner to the HDC. No building or structure in a locally designated historic district or the CRA shall be demolished without approval by the HDC, unless by a superseding order of a government agency or a court of competent jurisdiction.

- 1. Demolition should only occur after all other options have been considered and retention of the building is found not to be feasible due to structural or economic reasons.*
- 2. Demolition may occur to ensure the public safety and welfare.*

ANALYSIS:

Staff concludes the requested action is substantially consistent with the Land Development Code, the Secretary of the Interior Standards, and the Downtown Historic District Guidelines and recommends **APPROVAL** of HDC 2016-27.

MOTION TO CONSIDER:

I move to approve or deny HDC case number 2016-27;

AND I move that the HDC make the following findings of fact and conclusions of law part of the record:

That HDC case 2016-27, as presented, is or is not substantially compliant with the Land Development Code, the Downtown Historic District Guidelines, and the Secretary of the Interior’s Standards to warrant approval at this time.

LIST OF EXHIBITS:

EXHIBIT 1 HDC 2016-27 Application

EXHIBIT 2 FL Master Site File


Salvatore J. Cumella
Planner II



APPLICATION FOR HISTORIC DISTRICT COUNCIL COA

(D)

OFFICE USE ONLY
 REC'D: idn BY: B
 PAYMENT: \$ 200- TYPE CR 4167 (#415.00)
 APPLICATION #: 2016-0001532
 HDC CASE #: 2016-27
 APPLICATION COMPLETE: Y ___ N ___
 PRE-CONFERENCE: Y ___ N ___ DATE _____

BOARD MEETING DATE: _____
 PLANNER: _____ DATE: _____
 ___ APPROVED ___ DENIED

APPROVAL TYPE: Staff Approval Board Approval: Conceptual _____ or Final

PROJECT TYPE:
 New Construction Addition Alteration Relocation Demolition Variance
 Repair Paint Fence Sign Re-roof Other: _____

PROPERTY INFORMATION
 Street Address: 14 South Second Street
 Historic District: Downtown Old Town CRA Waterfront
 Parcel Identification Number(s): 00-00-31-1800-0269-0020
 Zoning District: _____ Lot / Block Number (optional) 269/3

Owner of Record
Owner(s) Name Howard McLure
Corporation or Company Mac & Gi, LLC
Street Address 4361 Chickering Lane
City State Zip Nashville, TN 37215
Telephone Number (615) 418-0944
Fax Number
Email Address Howard.McLure@gmail.com

Applicant or Agent
Applicant Name Donna Lynne VanPuymbrouck
Corporation or Company Donna Lynne Custom Homes, Inc
Street Address 474425 E. State Road 200
City State Zip Fernandina Beach, FL 32034
Telephone Number (904) 277-2465
Fax Number
Email Address Donnalynne4227@comcast.net

PROJECT DESCRIPTION

Part 1. Describe The Existing Conditions and Materials. Describe the existing structure(s) on the subject property in terms of the construction materials and site conditions, as well as the surrounding context.

Existing site consists of a two story wood framed restaurant with stucco walls and asphalt shingle roof. Also on the site are two ancillary storage structures. One storage structure is a painted white load bearing brick masonry structures with red standing seam metal roofing. The second storage structure is a wood framed storage structure with green painted exterior plywood walls and asphalt shingle roofing. Situated between the restaurant and the storage structure is a open patio with faux brick stamped concrete paving.

Part 2. Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s). Attach further description sheets, if needed.

Proposed project is to demolish the rear storage shed that is wood framed with green painted exterior plywood walls and asphalt shingle roofing. The existing shed is approximatley 80 square feet and is situation on the Northeast corner of the site and concealed from view from 2nd and 3rd streets by a wooden privacy fence on the West side and the adjacent property to the East. The proposed shed will be reconstructed. New structure is being submitted as part of the HDC permit for the property that is submitted for board approval.

List proposed materials and colors, as applicable:

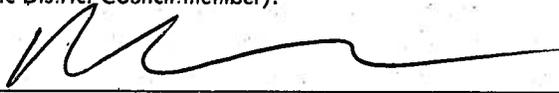
Project Scope	Type, Material, Brand	Color
Exterior Fabric		
Doors	Permit application is for demolition only. See HDC permit submitted for final Board approval for proposed new structures.	
Windows		
Roofing		
Fascia/Trim		
Foundation		
Shutters		
Porch/Deck		
Fencing		
Driveways/Sidewalks		
Signage		
Other		

Please submit all product brochures, paint color samples, and material samples with your application.

CERTIFICATION

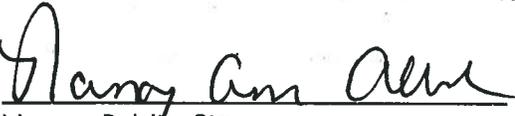
By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

- 1. I/We hereby attest to the fact that the above supplied parcel number(s) and legal description(s) is (are) the true and proper identification of the area of this petition.
- 2. I/We authorize staff from the Community Development Department to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
- 3. I/We understand that Certificates of Approval are only valid for **one year** from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
- 4. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the HDC before work commences on those changes. There will be no charge for a revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and/or additional fees/penalties.
- 5. It is understood that the approval of this application by the Historic District Council or staff in no way constitutes approval of a Building Permit for construction from the City of Fernandina Beach Building Department.
- 6. The COA review time period will not commence until your application is deemed complete by staff and may take up to 10 days to process.
- 7. Historic District Council meetings are conducted in a quasi-judicial hearing and as such ex-parte communications are prohibited (Communication about your project with a Historic District Council member).

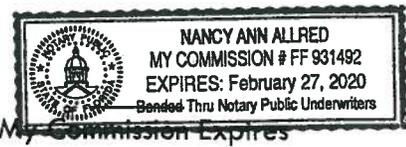
_____ 
Date **Signature of Applicant**

STATE OF FLORIDA }
 COUNTY OF NASSAU }
 ss }

Subscribed and sworn to before me this 17th day of October, 2017


 Notary Public Signature

Nancy Ann Allred
 Printed Name



Personally Known _____ OR Produced Identification _____ ID Produced: _____



OWNER'S AUTHORIZATION FOR AGENT REPRESENTATION

I /WE Howard McLure
(print name of property owner(s))

hereby authorize: Donna Lynne VanPuymbrouck
(print name of agent)

to represent me/us in processing an application for: HDC Final Staff Approval - Demolition
(type of application)

on our behalf. In authorizing the agent to represent me/us, I/we, as owner/owners, attest that the application is made in good faith and that any information contained in the application is accurate and complete.

[Signature]
(Signature of owner)

(Signature of owner)

Howard McLure
(Print name of owner)

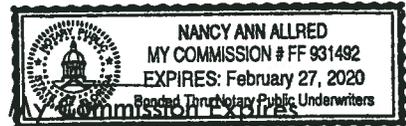
(Print name of owner)

STATE OF FLORIDA }
 } ss
COUNTY OF NASSAU }

Subscribed and sworn to before me this 17th day of October, 2016

[Signature]
Notary Public: Signature

Nancy Ann Allred
Printed Name



Personally Known _____ OR Produced Identification _____ ID Produced: _____

ACCOUNT NUMBER	TAX YEAR	TYPE	ALT KEY	MILLAGE CODE	ESCROW
00-00-31-1800-0269-0020	2015	REAL ESTATE	13278	002	

MAC & GI LLC
 4361 CHICKERING LN
 NASHVILLE, TN 37215

14 S 2ND
 BLOCK 269 LOTS 2 & 3
 IN OR 1800/65
 CITY OF FDNA BEACH

AD VALOREM TAXES						
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION AMOUNT	TAXABLE VALUE	TAXES LEVIED	
BOARD OF COUNTY COMMISSIONERS						
GENERAL FUND	5.9768	346,815	0	346,815	2,072.84	
TRANSPORTATION	0.5902	346,815	0	346,815	204.69	
SCHOOL BOARD						
BASIC DISCRETIONARY	0.7480	346,815	0	346,815	259.42	
CAPITAL OUTLAY	1.4000	346,815	0	346,815	485.54	
SCHOOL BOARD LOCAL EFFORT	5.0050	346,815	0	346,815	1,735.81	
ST JOHNS RIVER MGMT DIST	0.3023	346,815	0	346,815	104.84	
FL INLAND NAVIGATION DIST	0.0320	346,815	0	346,815	11.10	
MOSQUITO CONTROL DISTRICT	0.1472	346,815	0	346,815	51.05	
CITY OF FERNANDINA BEACH						
FERNANDINA BEACH	6.1021	346,815	0	346,815	2,116.30	
VOTER APPROVED DEBT	0.2023	346,815	0	346,815	70.16	
TOTAL MILLAGE		20.5059	AD VALOREM TAXES		\$7,111.75	

NON-AD VALOREM ASSESSMENTS		
LEVYING AUTHORITY	RATE	AMOUNT
		\$0.00
NON-AD VALOREM ASSESSMENTS		\$0.00

COMBINED TAXES AND ASSESSMENTS	\$7,111.75
---------------------------------------	-------------------

If Paid By	Feb 29, 2016				
Please Pay	\$0.00				

JOHN M. DREW, CFC

NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

NASSAU COUNTY TAX COLLECTOR

ACCOUNT NUMBER	TAX YEAR	TYPE	ALT KEY	MILLAGE CODE	ESCROW
00-00-31-1800-0269-0020	2015	REAL ESTATE	13278	002	

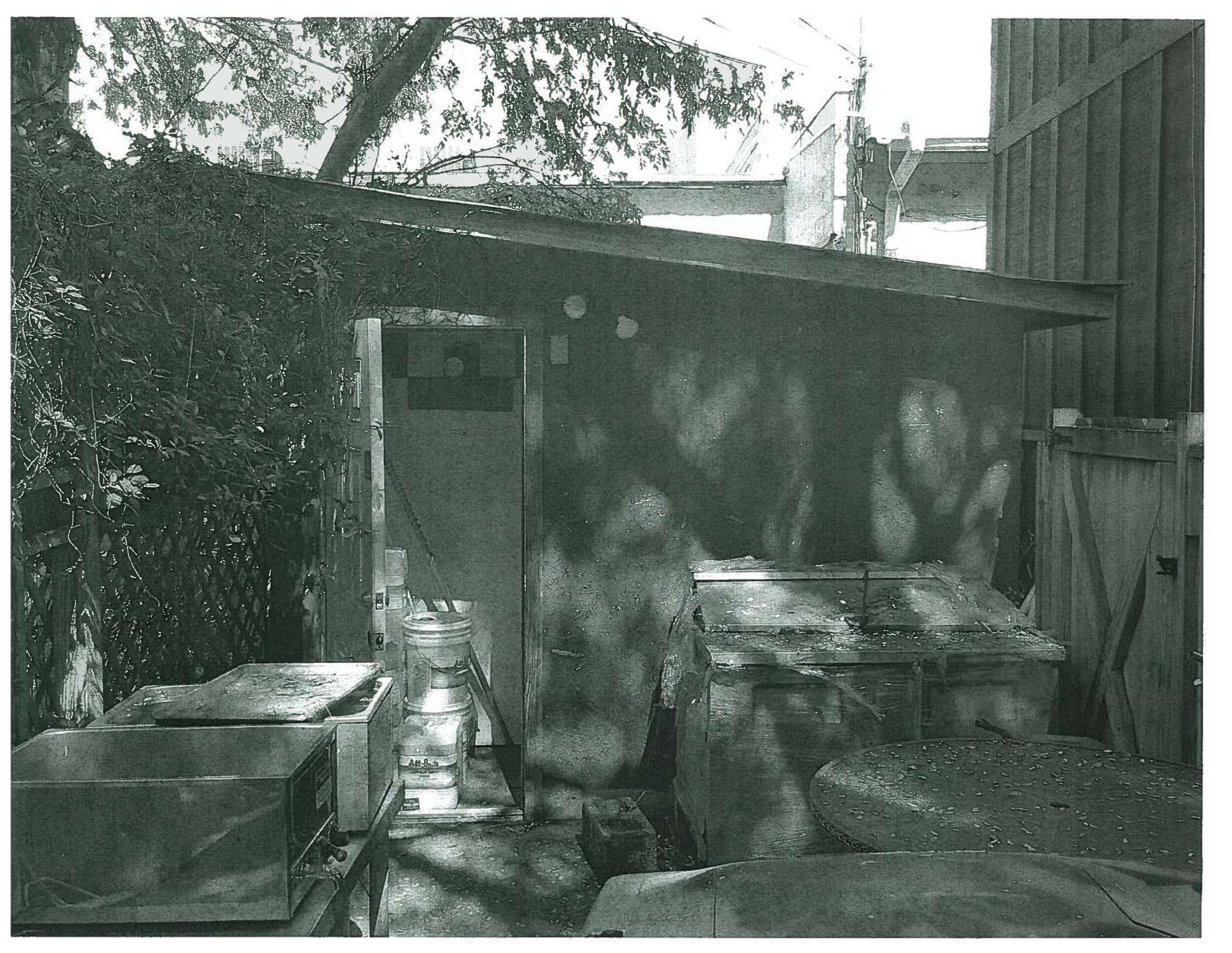
RETURN WITH
PAYMENT

MAC & GI LLC
 4361 CHICKERING LN
 NASHVILLE, TN 37215

14 S 2ND
 BLOCK 269 LOTS 2 & 3
 IN OR 1800/65
 CITY OF FDNA BEACH

PLEASE PAY IN U.S. FUNDS TO JOHN M. DREW, CFC TAX COLLECTOR - 86130 LICENSE ROAD, FERNANDINA BEACH FL 32034, OR ONLINE AT WWW.NASSAUTAXES.COM

If Paid By	Feb 29, 2016				
Please Pay	\$0.00				

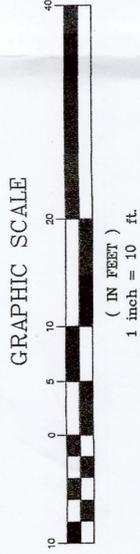




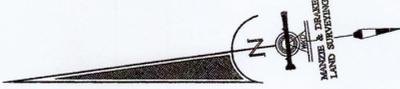


MAP OF BOUNDARY & LIMITED TOPOGRAPHIC SURVEY

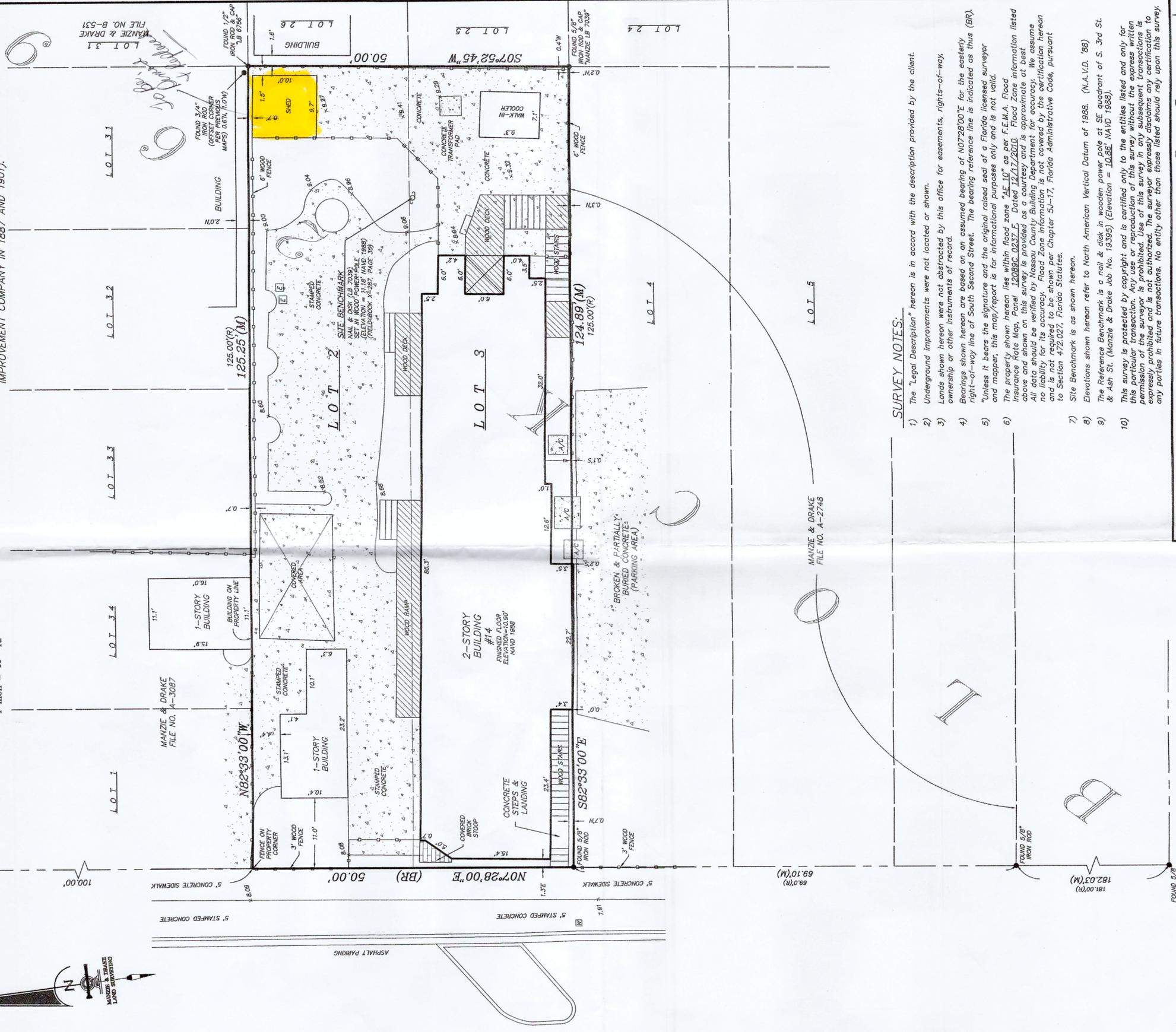
LOTS 2 & 3, BLOCK 269, FERNANDINA BEACH, NASSAU COUNTY, FLORIDA AS SHOWN ON THE OFFICIAL PLAT OF SAID CITY (AS LITHOGRAPHED AND ISSUED BY THE FLORIDA RAILROAD COMPANY IN 1857 AND ENLARGED, REVISED AND REISSUED BY THE FLORIDA TOWN IMPROVEMENT COMPANY IN 1887 AND 1907).



CENTRE STREET



SOUTH SECOND STREET
(60-FOOT RIGHT-OF-WAY)



SURVEY NOTES:

- 1) The "Legal Description" hereon is in accord with the description provided by the client.
- 2) Underground improvements were not located or shown.
- 3) Lands shown hereon were not abstracted by this office for assessments, rights-of-way ownership or other instruments of record.
- 4) Bearings shown hereon are based on an assumed bearing of N07°28'00"E for the easterly right-of-way line of South Second Street. The bearing reference line is indicated as thus (BR).
- 5) Unless it bears the signature and the original raised seal of a Florida licensed surveyor and mapper, this map/report is for informational purposes only and is not valid.
- 6) The property shown hereon lies within flood zone "AE 10" as per F.E.M.A. Flood Insurance Rate Map, Panel 12088C-0237-E, Dated 12/17/2010. Flood Zone information listed above and shown on this survey is provided as a courtesy and is approximate at best. All data should be verified by Nassau County Building Department for accuracy. We assume no liability for its accuracy. Flood Zone information is not covered by the certification hereon and is not required to be shown per Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.
- 7) Site Benchmark is as shown hereon.
- 8) Elevations shown hereon refer to North American Vertical Datum of 1988. (N.A.V.D. '88)
- 9) The Reference Benchmark is a nail & disk in wooden power pole at SE quadrant of S. 3rd St. & Ash St. (Manzie & Drake Job No. 18395) (Elevation = 10.86' NAVD 1988).
- 10) This survey is protected by copyright and is certified only to the entities listed and only for this particular transaction. Reproduction or use of this survey without the express written permission of the surveyor is prohibited. Use of this survey in any subsequent transactions is expressly prohibited and is not authorized. The surveyor expressly disclaims any certification to any parties in future transactions. No entity other than those listed should rely upon this survey.

THE INFORMATION SHOWN HEREON MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

William D. Pinkston
 MICHAEL A. MANZIE, P.L.S. 4069
 WILLIAM D. PINKSTON, P.S.M. 6783

MANZIE & DRAKE LAND SURVEYING
 117 South Ninth Street, Fernandina Beach, FL 32034
 (904) 491-5700 FAX (904) 491-5777
 Certificate of Authorization Number "LB 7039"
 "OUR SIGHTS ARE ON THE FUTURE."
 SET YOUR SITES ON US."

PREPARED FOR:
 MAC & G, LLC

PROPERTY ADDRESS:
 14 SOUTH SECOND STREET
 FERNANDINA BEACH, FL 32034

- LEGEND
- A/C = AIR CONDITIONER
 - ± = CENTERLINE
 - ▭ = CONCRETE FLOWLINE
 - ⊠ = CONCRETE FLOUNDER
 - ⊞ = ELECTRICITY METER
 - (M) = MEASURED AREA
 - ⊞ = NORTH AMERICAN VERTICAL DATUM
 - ⊞ = WATER METER
 - ⊞ = BEARING REFERENCE
 - ⊞ = WOOD CHIMNEY
 - ⊞ = WOOD POWER POLE



HISTORICAL STRUCTURE FORM

Electronic Version 1.1.0

Site #8 NA01182

Recorder # 303

Field Date 3/20/2007

Form Date 3/30/2007

FormNo 200703

FormNo = Field Date (YYYYMM)

First Site Form Recorded for this Site? NO

GENERAL INFORMATION

Site Name (address if none) Joe's Bistro

Multiple Listing (DHR only)

Other Names

>>

Survey or Project Name

Survey#

National Register Category Building(s)

LOCATION & IDENTIFICATION

Address

Street No.	Direction	Street Name	Street Type	Direction Suffix
<u>14</u>	<u>South</u>	<u>2nd</u>	<u>Street</u>	

Cross Streets (nearest/ between)

City / Town (within 3 miles) Fernandina Beach

In Current City Limits? YES

County Nassau

Tax Parcel #(s)

Subdivision Name

Block

Lot

Ownership

Name of Public Tract (e.g., park)

Route to (especially if no street address)

MAPPING

USGS 7.5' Map Name

Publication Date

>> FERNANDINA BEACH;2003

Township:

Range:

Section:

1/4 section:

>> 3N ;28E ;22;UNSP

Irregular Section Name:

Landgrant

UTM: Zone

Easting

Northing

Plat or Other Map (map's name, location)

DESCRIPTION

Style Frame Vernacular

Other Style

Exterior Plan Irregular

Other Exterior Plan

Number of Stories 2

Structural System(s)

>>

Wood frame

Other Structural System(s)

Foundation Type(s)

>>

Piers

Other Foundation Types

Foundation Material(s)

>>

Brick

Other Foundation Material(s)

Exterior Fabric(s)

>>

Stucco

Other Exterior Fabric(s)

Roof Type(s)

>>

Gable

Other Roof Type(s)

Roof Material(s)

>>

Composition shingles

Other Roof Material(s)

Roof Secondary Structure(s) (dormers etc)

Other Roof Secondary Structure(s) oriel

>>

Hip extension

Number of Chimneys

Chimney Material

Other Chimney Material(s)

Chimney Location(s)

HISTORICAL STRUCTURE FORM

8NA01182

DESCRIPTION (continued)

Window Descriptions fixed

Main Entrance Description (stylistic details)

Porches: #open _____ #closed 1 #incised _____ Location(s) west

Porch Roof Types(s) shed

Exterior Ornament

Interior Plan

Other Interior Plan

Condition Good

Structure Surroundings

Commercial: MOSTly this category

Residential: _____

Institutional: _____

Undeveloped: _____

Ancillary Features (Number / type of outbuildings, major landscape features) storage building

Archaeological Remains (describe): none

If archaeological remains are present, was an Archaeological Site Form completed? _____

Narrative Description (optional)

HISTORY

Construction year 1914

Architect (last name first): _____

Builder (last name first): _____

Changes in Locations or Conditions

Type of Change	Year of Change	Date Change Noted	Description of Changes
----------------	----------------	-------------------	------------------------

>>			
----	--	--	--

Structure Use History

Use	Year Use Started	Year Use Ended	
			>> <u>Restaurant; 1914;</u>

Other Structure Uses

Ownership History (especially original owner, dates, profession, etc.)

RESEARCH METHODS

Research Methods >> FL Master Site File-Cultural Resources

Other research methods

SURVEYOR'S EVALUATION OF SITE

Potentially Eligible for a Local Register?

Name of Local Register if Eligible

Individually Eligible for National Register? NO

Potential Contributor to NR District? NO

Area(s) of historical significance

>> Community planning & development

Other Historical Associations

Explanation of Evaluation (required) Because the resource has lost much of its historic integrity, it doesn't appear to warrant consideration for the NRHP on an individual basis and doesn't contribute to a historic district.

HISTORICAL STRUCTURE FORM

8NA01182

DOCUMENTATION (Photos, Plans, etc.)

Photographic Negatives or Other Collections Not Filed with FMSF. Including Field Notes, Plans, other Important Documents.

Document type: _____ Maintaining Organization: _____
File or Accession #: _____ Descriptive Information: _____

>> _____

RECORDER INFORMATION

Recorder Name (Last, First) Bland, Myles
Recorder Address / Phone 7035 Phillips HWY Ste. 5-129 Jacksonville, FL 904-448-4429
Recorder Affiliation Bland & Associates, Inc Other Affiliation _____
Is a Text-Only Supplement File Attached (Surveyor Only)? NO

***** MASTER SITE FILE USE ONLY *****

Cultural Resource Type: SS
Electronic Form Used: S110
Form Type Code: NORM
Form Quality Ranking: NEW
Form Status Code: SCAT

SHPO's Evaluation of Resource

Date _____

Supplement Information Status: NO SUPPLEMENT
Supplement File Status: NO SUPPLEMENT FILE

FMSF Staffer: _____
Computer Entry Date: 6/17/2007

Form Comments: _____

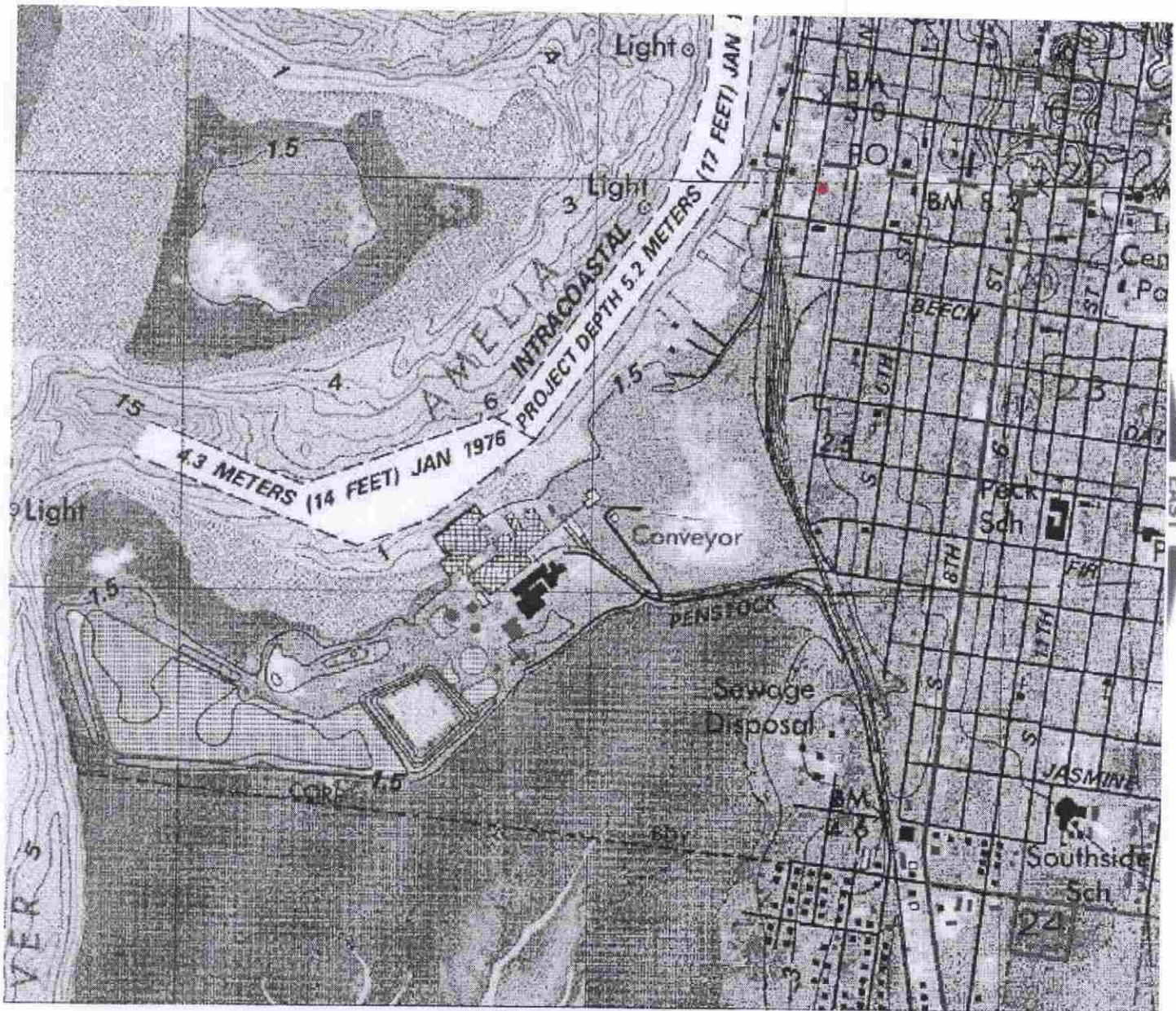
REQUIRED PAPER ATTACHMENTS

- (1) USGS 7.5" MAP WITH STRUCTURE PINPOINTED IN RED
- (2) LARGE SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, B&W, AT LEAST 3"X5"

NA01182-200703

Supplementary Printout

- > **USGS map name/year of publication or revision:**
FERNANDINA BEACH;2003
- > **Township/Range/Section/Qtr:**
3N ;28E ;22;UNSP
- > **Structural system(s):**
Wood frame
- > **Foundation types:**
Piers
- > **Foundation materials:**
Brick
- > **Exterior fabrics:**
Stucco
- > **Roof types:**
Gable
- > **Roof materials:**
Composition shingles
- > **Roof secondary structures (dormers etc):**
Hip extension
Shed extension
Other
- > **Change status/year changed/date noted/nature:**
- > **Original, intermediate, present uses/year started/year ended:**
Restaurant;1914;
- > **Research methods:**
FL Master Site File-Cultural Resources
Examine local property records
Pedestrian
- > **Area(s) of historical significance:**
Community planning & development
- > **Repositories: Collection/Housed/Accession#/Describe**
- > **[Other name(s)]:**



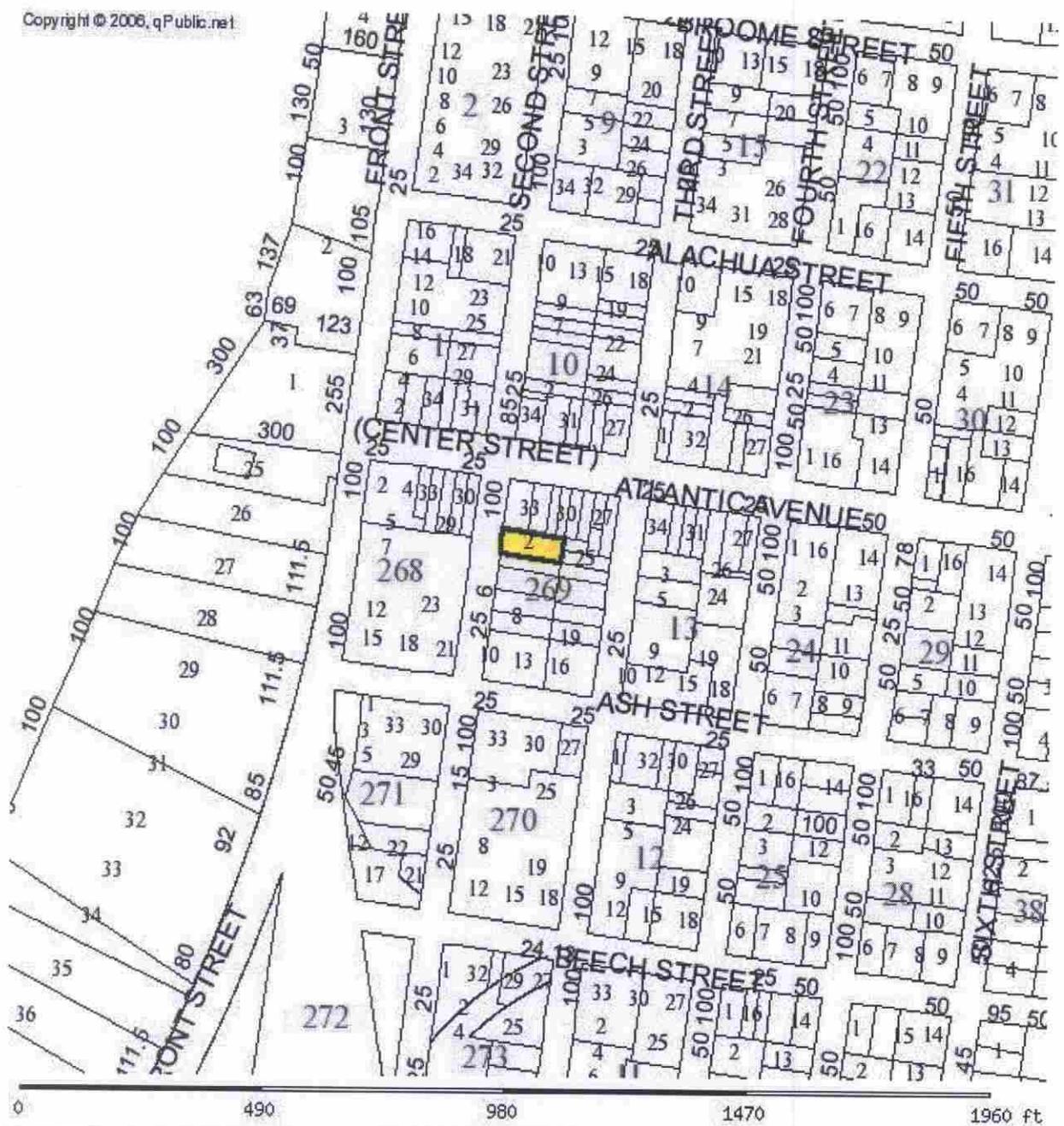
MA1182

303

303

Copyright © 2006, qPublic.net

NA1182



PARCEL INFORMATION TABLE	
Selected Parcel	00-00-31-1800-0269-0020
GIS CALCULATED ACREAGE	0.14
Property Use	RESTAURANT
Land Use	RESTAURANT
OWNERSHIP INFORMATION	
Name	ROBUCCI-ROBERTS G DAWN
Mailing Address	64 TUXIS VLG FARMINGTON, CT 060321519
Situs/Physical Address	14 SOUTH 2ND ST
2006 PROPOSED VALUES	
Land Value	299,750
Ag Land Value	0



134 AXD

JO7 YUB

626

mazda



HISTORIC DISTRICT COUNCIL STAFF REPORT
HDC 2016-28
November 17, 2016

Owner/Applicant:	Donna Lynne VanPuymbrouck, agent for Mac & Gi, LLC				
Property Address:	14 S 2 nd Street				
Requested action:	Certificate of Approval (COA) to reconstruct two storage buildings; install new handrail and decking on the ADA ramp, modifications to the entry fence, and reconstruction of the existing sign.				
Current zoning:	C-3				
FLUM land use category:	Central Business District				
Existing uses on the site:	Restaurant				
Year Built:	1914 (Tax Appraiser) 1914 (FL Master Site File)				
Contributing Status:	Non-Contributing				
Adjacent Properties:	North	Office	c. 1884	C-3	
	South	Commercial	N/A	C-3	Vacant
	East	Restaurant	c. 2005	C-3	
	West	Retail/Office	c. 1900	C-3	

All required application materials have been received. All fees have been paid. All required notices have been made.



SUMMARY OF REQUEST AND BACKGROUND INFORMATION:

Applicant is proposing to reconstruct two storage buildings, install new handrails and decking on the ADA ramp, modify the entry fence, and reconstruct the existing sign.

APPLICABLE GUIDELINES:

Secretary of the Interior's Standards for Rehabilitation

1. **A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**
Findings: *Complies* *Does not Comply* *N/A*
2. **The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**
Findings: *Complies* *Does not Comply* *N/A*
3. **Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**
Findings: *Complies* *Does not Comply* *N/A*
4. **Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.**
Findings: *Complies* *Does not Comply* *N/A*
5. **Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.**
Findings: *Complies* *Does not Comply* *N/A*
6. **Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.**
Findings: *Complies* *Does not Comply* *N/A*
7. **Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**
Findings: *Complies* *Does not Comply* *N/A*
8. **Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.**
Findings: *Complies* *Does not Comply* *N/A*
9. **New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**
Findings: *Complies* *Does not Comply* *N/A*
10. **New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**
Findings: *Complies* *Does not Comply* *N/A*

CITY OF FERNANDINA BEACH LAND DEVELOPMENT CODE

8.01.01.01 Standards for Development in the Historic District Overlays

- A. *The review of proposed development within the Historic District Overlays shall be based upon the latest edition of Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings from the U.S. Secretary of Interior.*
- B. *The review of proposed development within the Historic District Overlay shall also be based upon compliance with the Downtown Historic District Guidelines, dated December 1999, as amended from time to time. The review of proposed development within Old Town shall be based upon compliance with the Old Town Preservation and Development Guidelines, dated June 1999, as amended from time to time.*
- C. *In addition to standards applicable to the underlying zoning district, new construction within the Historic District Overlay shall be compatible with the existing character of the landmark or the district. Compatible design means architectural design and construction that will fit harmoniously into the district or the landmark site. New construction shall be compatible in scale, materials, and quality of construction with adjacent buildings and structures that have been designated.*

CITY OF FERNANDINA BEACH DOWNTOWN HISTORIC DISTRICT DESIGN GUIDELINES: INFILL BUILDINGS

1. *Construct new buildings to a height compatible with existing adjacent buildings. New buildings should have the same number of stories and be within ten percent of the average height of existing buildings as seen from the street and publically accessible areas.*
2. *Construct new buildings with façade proportions, including the height-to- width ratio, similar to and compatible with others on existing adjacent buildings.*
3. *New buildings should be compatible with adjacent buildings in terms of set back.*
4. *Match the degree of new design's complexity with that of existing adjacent buildings. The area's dominant architecture should dictate the degree of simplicity or complexity for a new building.*
5. *With respect to height-to-width ratios, design new buildings' windows and doors in relation to the proportions of existing adjacent buildings visible from public areas.*
6. *Design new buildings with solid-to-void rhythms and open-to-solid proportions compatible with those used in existing adjacent buildings.*
7. *Select materials and textures for new buildings that relate to the extent such materials and textures are used in the surrounding area and on existing adjacent buildings. In areas where strong continuity of materials and textures is a factor, the continued use of those materials should be strongly considered.*
8. *Select colors for a new building that relate to the use of color in the surrounding area and on existing adjacent buildings. In areas where strong continuity of color is a factor, the continued use of existing colors should be strongly considered.*
9. *Relate architectural details and articulation to that of existing buildings. Such details may include lintels, cornices, arches, chimneys, and ironwork.*
10. *Design new buildings to be compatible with the historic and architectural character of the area while also recognizing them as products of their own time. By following a majority of the above guidelines, a new building can be designed that respects its historic neighbors without simply duplicating them.*

CITY OF FERNANDINA BEACH DOWNTOWN HISTORIC DISTRICT DESIGN GUIDELINES: ADA COMPLIANCE AND ACCESSIBILITY RAMPS

Most commercial buildings have entrances that meet Americans with Disabilities Act (ADA) requirements. Entrances can also be retrofitted with new hardware and automatic door openers if desired. If accessibility ramps and chair lifts are needed they should be sited at rear elevations or designed to minimize their visual impact on the primary facade.

1. *Americans with Disabilities Act (ADA) curb cuts should be installed to minimize damage to the original concrete sidewalks and be consistent with the existing concrete color and texture.*
2. *Locate ramps out of public view.*
3. *Use landscaping where appropriate to screen accessibility ramps.*

ANALYSIS:

The storage buildings will be replacing two older buildings. The first storage building is located toward the front (west) portion of the site. It will be constructed to look like the structure that it is replacing. The original structure suffered structural failure and demolition was approved by the HDC on June 16, 2016 (HDC 2016-17). The new structure will be a brick veneer building painted Sherwin Williams “Pure White - SW7005,” to match the primary structure. It will feature Steelcraft steel doors and a Gulflok 26 gauge 16” wide aluminum standing seam roof in *Colonial Red*. Fascia and trim will be constructed of pressure treated lumber painted Sherwin Williams *Dorian Gray* – SW7017. The total square footage of this building will be 207 sq. ft.

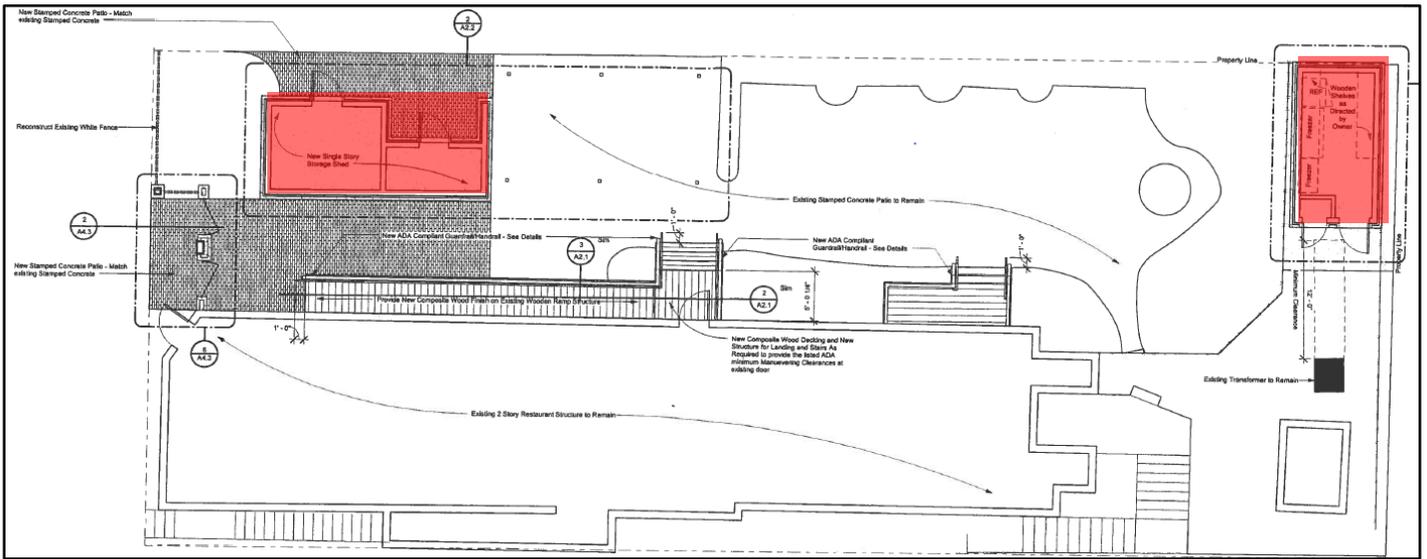
The second shed structure to be reconstructed has a demolition proposal pending approval (HDC 2016-27). It is located at the northeast corner of the property and is concealed from view from 2nd and 3rd streets by a wooden privacy fence on the west side and the adjacent property to the east. This shed will be a single story brick veneer building painted Sherwin Williams *Pure White - SW7005*, to match the primary structure. It will feature Steelcraft steel doors and a Gulflok 26 gauge 16” wide aluminum standing seam roof in *Colonial Red*. Fascia and trim will be constructed of pressure treated lumber painted Sherwin Williams *Dorian Gray* – SW7017. The total square footage of this building will be 156 sq. ft.

The existing ADA ramp will receive new composite wood decking and wooden handrails and trim. The landing will be expanded to meet required minimum maneuvering clearances.

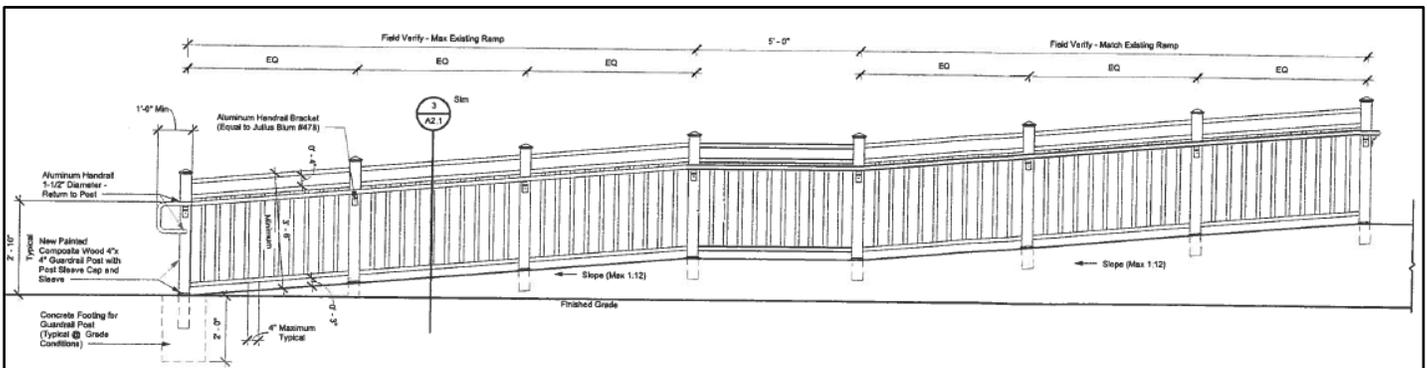
The front entry to the courtyard will be enhanced with a new wood picket fence, new sign, and entry gate that will feature brick columns painted Sherwin Williams *Pure White - SW7005*, and a lighted menu display in the center. The columns will incorporate bricks salvaged from the demolished shed, if feasible.

Staff concludes the requested action is substantially consistent with the Land Development Code, the Secretary of the Interior Standards, and the Downtown Historic District Guidelines and recommends **APPROVAL** of HDC 2016-28.

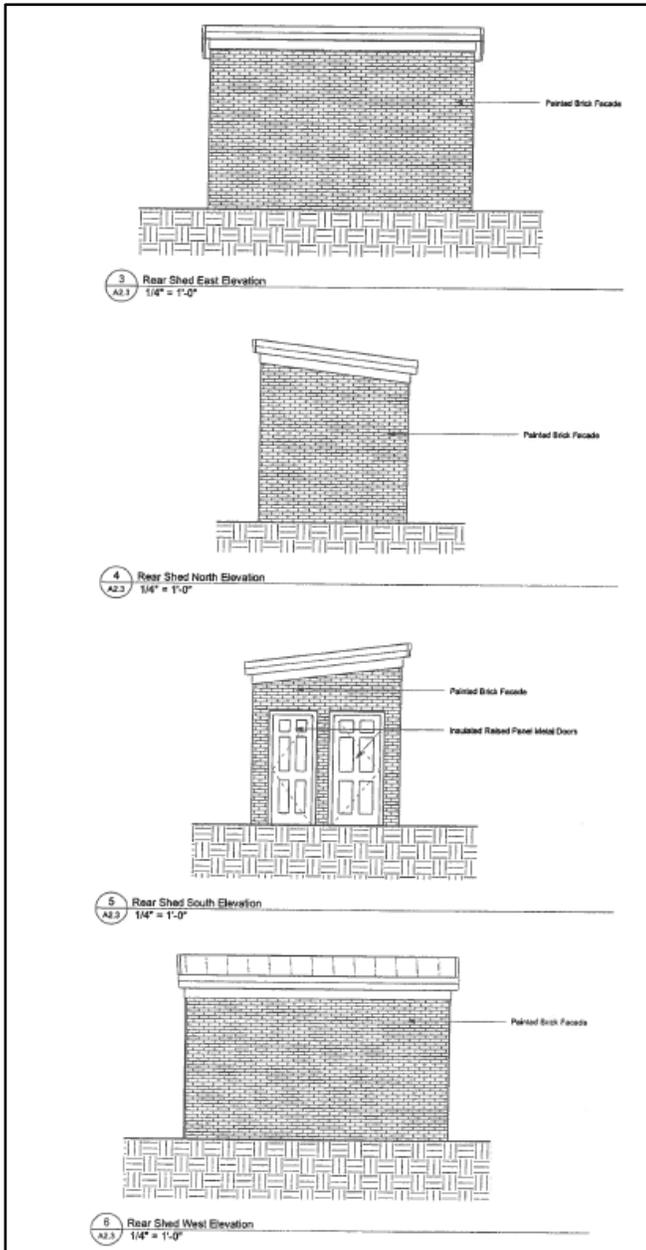
Site Plan



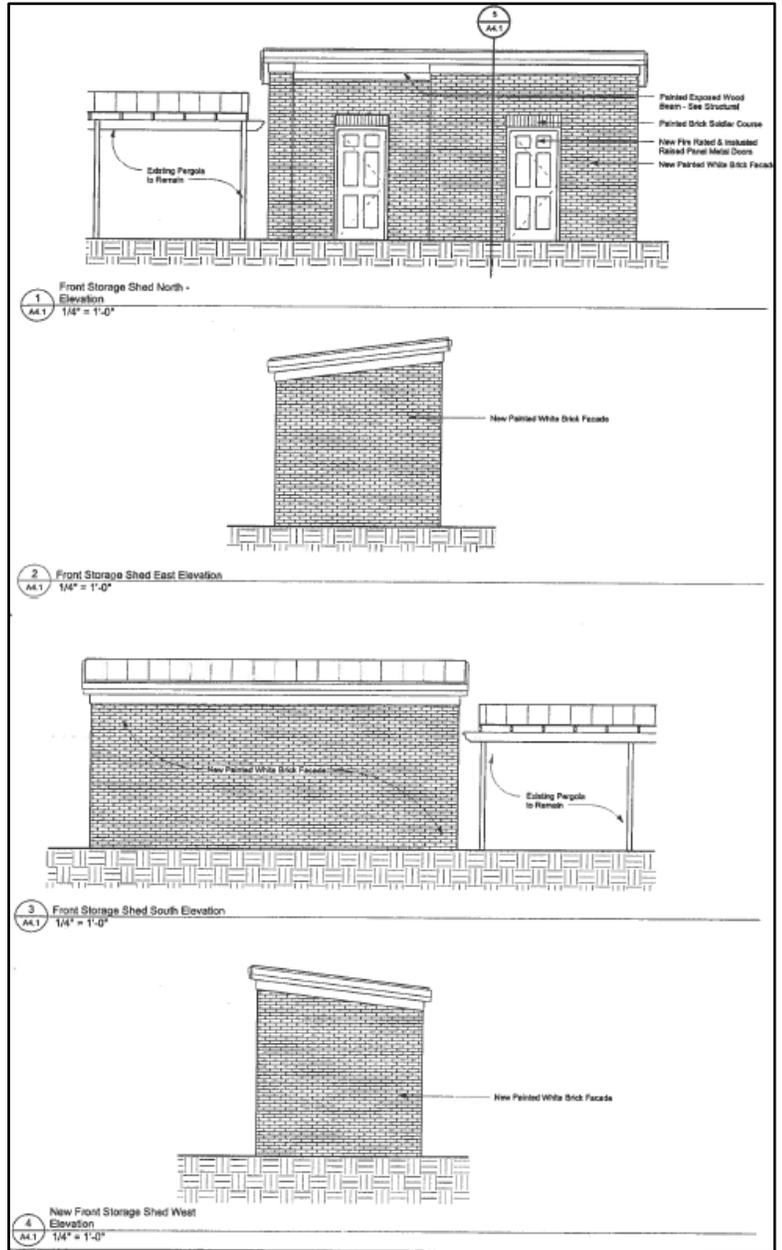
Ramp Elevation



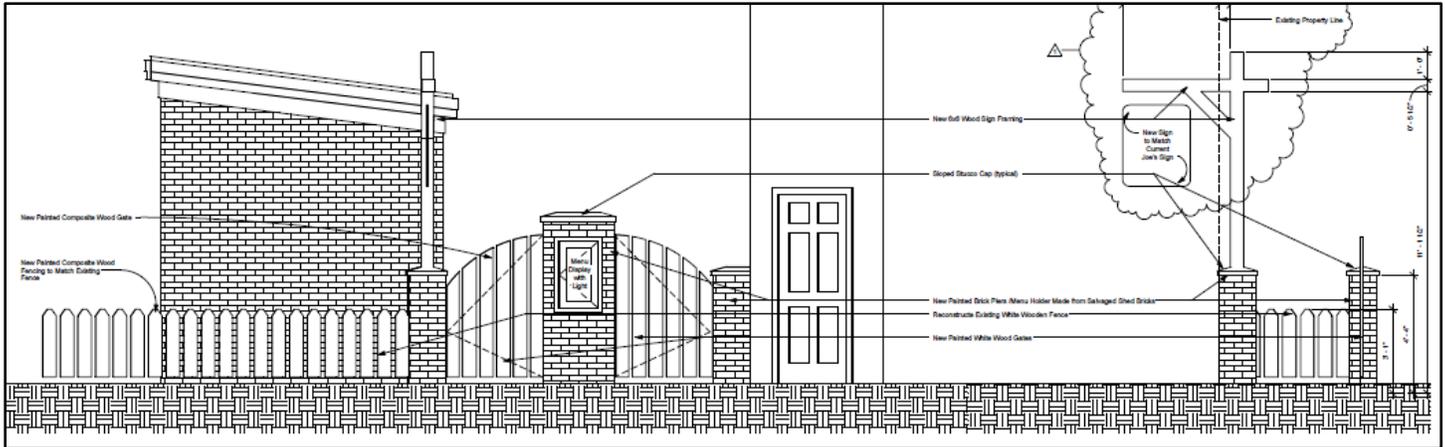
Rear Shed Elevations



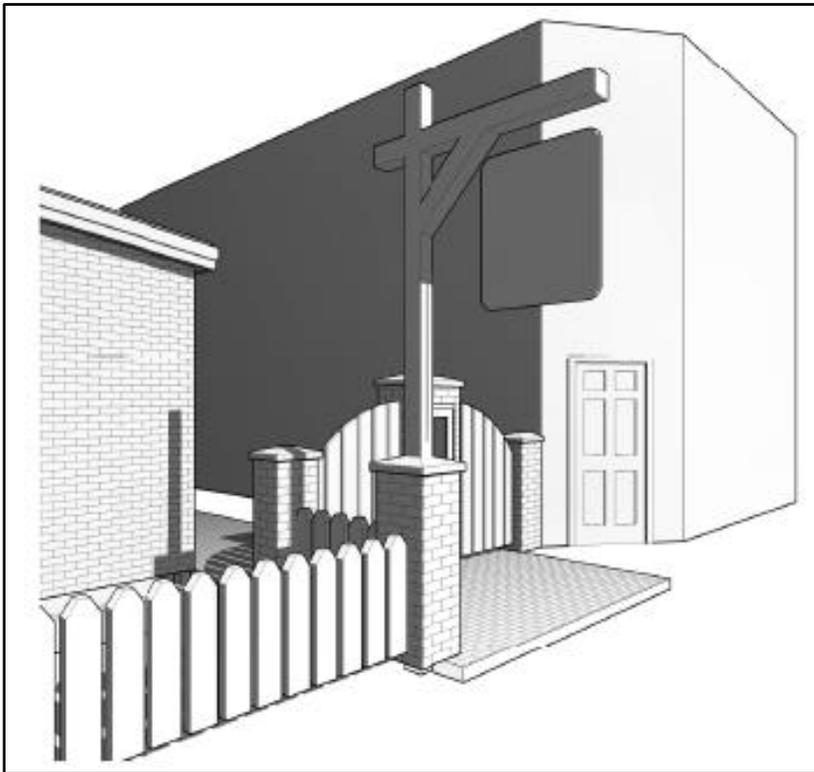
Front Shed Elevations



Entry Gate/ Sign Elevations



Entry Gate Perspective



MOTION TO CONSIDER:

I move to **approve or deny** HDC case number 2016-28 **with or without** conditions;

AND I move that the HDC make the following findings of fact and conclusions of law part of the record:

That HDC case 2016-28, as presented, **is or is not** substantially compliant with the Land Development Code, the Downtown Historic District Guidelines, and the Secretary of the Interior's Standards to warrant approval at this time.

LIST OF EXHIBITS:

EXHIBIT 1 HDC 2016-28 Application



Salvatore J. Cumella
Planner II

(B)



APPLICATION FOR HISTORIC DISTRICT COUNCIL COA

OFFICE USE ONLY

REC'D: 10/17 BY: (B)

PAYMENT: \$ 200 TYPE CK 4157 (\$445.00)

APPLICATION #: 2016-0001534

HDC CASE #: 2016-28

APPLICATION COMPLETE: Y ___ N ___

PRE-CONFERENCE: Y ___ N ___ DATE: _____

BOARD MEETING DATE: _____

PLANNER: _____ DATE: _____

___ APPROVED ___ DENIED

APPROVAL TYPE: Staff Approval Board Approval: Conceptual ___ or Final

PROJECT TYPE:

New Construction Addition Alteration Relocation Demolition Variance

Repair Paint Fence Sign Re-roof Other: _____

PROPERTY INFORMATION

Street Address: 14 South Second Street

Historic District: Downtown Old Town CRA Waterfront

Parcel Identification Number(s): 00-00-31-1800-0269-0020

Zoning District: _____ Lot / Block Number (optional) 269/3

Owner of Record

Owner(s) Name
Howard McLure

Corporation or Company
Mac & Gi, LLC

Street Address
4361 Chickering Lane

City State Zip
Nashville, TN 37215

Telephone Number
(615) 418-0944

Fax Number

Email Address
Howard.McLure@gmail.com

Applicant or Agent

Applicant Name
Donna Lynne VanPuymbrouck

Corporation or Company
Donna Lynne Custom Homes, Inc

Street Address
474425 E. State Road 200

City State Zip
Fernandina Beach, FL 32034

Telephone Number
(904) 277-2465

Fax Number

Email Address
Donnalynne4227@comcast.net

PROJECT DESCRIPTION

Part 1. Describe The Existing Conditions and Materials. Describe the existing structure(s) on the subject property in terms of the construction materials and site conditions, as well as the surrounding context.

Existing site consists of a two story wood framed restaurant with stucco walls and asphalt shingle roof. Also on the site are two ancillary storage structures. One storage structure is a painted white load bearing brick masonry structures with red standing seam metal roofing. The second storage structure is a wood framed storage structure with green painted exterior plywood walls and asphalt shingle roofing. Situated between the restaurant and the storage structure is an open patio with faux brick stamped concrete paving.

Part 2. Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s). Attach further description sheets, if needed.

Proposed project will reconstruct the existing front storage shed (painted white load bearing masonry) and will reconstruct and enlarge the rear storage she (wood framed structure with green painted plywood walls and asphalt shingle roofing). Additional miscellaneous improvements also included in the project scope are resurfacing the existing ADA ramp, installation of a new ADA compliant handrail at the existing ramp, modifications to the existing front fence, and reconstruction of the existing freestanding sign.

List proposed materials and colors, as applicable:

Project Scope	Type, Material, Brand	Color
Exterior Fabric	NA	
Doors	Steelcraft Doors with Steel Frame	SW 7005 Pure White
Windows	NA	
Roofing	Gulflok 26 gauge 16" wide aluminum standing seam roof panel	<i>Regal Red</i>
Fascia/Trim	2x8 with 1x6 PT Wood Fascia	SW 7017 Dorian Gray
Foundation	Concrete Foundations Poured Monolithically with Slab and Concealed by painted brick veneer	
Shutters	NA	
Porch/Deck	NA	
Fencing	Painted Composite Wood to Match Existing	SW 7005 Pure White
Driveways/Sidewalks	Existing to Remain. Where required to run new underground electrical, the existing stamped concrete will be removed and replace with matchi Faux Brick Stamped Concrete.	
Signage		
Other	Painted Brick Veneer.	SW 7005 Pure White

Please submit all product brochures, paint color samples, and material samples with your application.



OWNER'S AUTHORIZATION FOR AGENT REPRESENTATION

I /WE Howard McLure
(print name of property owner(s))

hereby authorize: Donna Lynne VanPuymbrouck
(print name of agent)

to represent me/us in processing an application for: HDC Final Board Approval - New Construction
(type of application)

on our behalf. In authorizing the agent to represent me/us, I/we, as owner/owners, attest that the application is made in good faith and that any information contained in the application is accurate and complete.

[Signature]
(Signature of owner)

(Signature of owner)

Howard McLure
(Print name of owner)

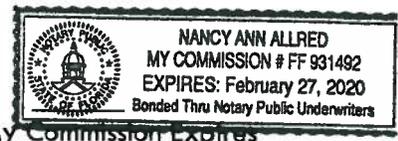
(Print name of owner)

STATE OF FLORIDA }
 } ss
COUNTY OF NASSAU }

Subscribed and sworn to before me this 17th day of October, 2016.

Nancy Ann Allred
Notary Public: Signature

Nancy Ann Allred
Printed Name



Personally Known _____ OR Produced Identification _____ ID Produced: _____

ACCOUNT NUMBER	TAX YEAR	TYPE	ALT KEY	MILLAGE CODE	ESCROW
00-00-31-1800-0269-0020	2015	REAL ESTATE	13278	002	

MAC & GI LLC
4361 CHICKERING LN
NASHVILLE, TN 37215

14 S 2ND
BLOCK 269 LOTS 2 & 3
IN OR 1800/65
CITY OF FDNA BEACH

AD VALOREM TAXES						
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION AMOUNT	TAXABLE VALUE	TAXES LEVIED	
BOARD OF COUNTY COMMISSIONERS						
GENERAL FUND	5.9768	346,815	0	346,815	2,072.84	
TRANSPORTATION	0.5902	346,815	0	346,815	204.69	
SCHOOL BOARD						
BASIC DISCRETIONARY	0.7480	346,815	0	346,815	259.42	
CAPITAL OUTLAY	1.4000	346,815	0	346,815	485.54	
SCHOOL BOARD LOCAL EFFORT	5.0050	346,815	0	346,815	1,735.81	
ST JOHNS RIVER MGMT DIST	0.3023	346,815	0	346,815	104.84	
FL INLAND NAVIGATION DIST	0.0320	346,815	0	346,815	11.10	
MOSQUITO CONTROL DISTRICT	0.1472	346,815	0	346,815	51.05	
CITY OF FERNANDINA BEACH						
FERNANDINA BEACH	6.1021	346,815	0	346,815	2,116.30	
VOTER APPROVED DEBT	0.2023	346,815	0	346,815	70.16	
TOTAL MILLAGE		20.5059	AD VALOREM TAXES		\$7,111.75	

NON-AD VALOREM ASSESSMENTS		
LEVYING AUTHORITY	RATE	AMOUNT
NON-AD VALOREM ASSESSMENTS		\$0.00
COMBINED TAXES AND ASSESSMENTS		\$7,111.75
If Paid By	Feb 29, 2016	
Please Pay	\$0.00	

JOHN M. DREW, CFC

NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

NASSAU COUNTY TAX COLLECTOR

ACCOUNT NUMBER	TAX YEAR	TYPE	ALT KEY	MILLAGE CODE	ESCROW
00-00-31-1800-0269-0020	2015	REAL ESTATE	13278	002	

MAC & GI LLC
4361 CHICKERING LN
NASHVILLE, TN 37215

14 S 2ND
BLOCK 269 LOTS 2 & 3
IN OR 1800/65
CITY OF FDNA BEACH

PLEASE PAY IN U.S. FUNDS TO JOHN M. DREW, CFC TAX COLLECTOR - 86130 LICENSE ROAD, FERNANDINA BEACH FL 32034, OR ONLINE AT WWW.NASSAUTAXES.COM

If Paid By	Feb 29, 2016				
Please Pay	\$0.00				

RETURN WITH
PAYMENT



FLORIDA PRODUCT APPROVAL



GULFLOK™

26 GA. GULFLOK™ 16" WIDE ROOF PANEL OVER 15/32" PLYWOOD
FLORIDA PRODUCT APPROVAL NO. 11651.16 R2

Product Evaluation Report GULF COAST SUPPLY & MANUFACTURING, LLC.

26 Ga. GulfLok™ 16" Wide Roof Panel over 15/32" Plywood

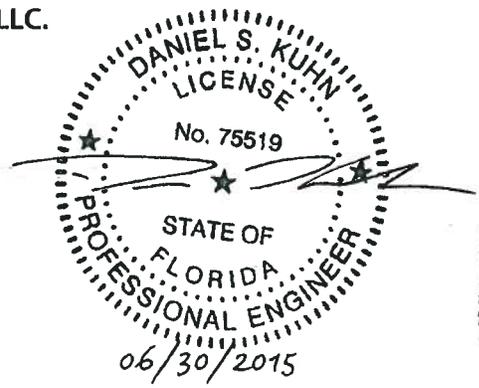
Florida Product Approval #11651.16 R2
Florida Building Code 2014
Per Rule 61G20-3
Method: 1 -D

Category: Roofing
Subcategory: Metal Roofing
Compliance Method: 61G20-3.005(1)(d)
NON HVHZ

Product Manufacturer:
Gulf Coast Supply & Manufacturing, LLC.
14429 SW 2nd Place, Suite G30
Newberry, FL 32669

Engineer Evaluator:
Dan Kuhn, P.E. #75519
Florida Evaluation ANE ID: 10743

Validator:
Locke Bowden, P.E. #49704
9450 Alysbury Place
Montgomery, AL 36117



Contents:
Evaluation Report Pages 1 – 5

FL# 11651.16 R2 • JUNE 15, 2015

PRODUCT EVALUATION REPORT



KUHN ENGINEERING, LLC
11670 ISLAND LAKES LANE BOCA RATON, FL 33498 • TEL: 561-330-4644



GULFLOK™

26 GA. GULFLOK™ 16" WIDE ROOF PANEL OVER 15/32" PLYWOOD
 FLORIDA PRODUCT APPROVAL NO. 11651.16 R2

- Compliance Statement:** The product as described in this report has demonstrated compliance with the Florida Building Code 2014, Sections 1504.3.2.
- Product Description:** GulfLok™, 7/8" Nailstrip Roof Panel, Minimum 26 Ga. Steel, Maximum 16" Coverage, Roof panel restrained with fasteners into minimum 15/32" plywood decking. Non Structural application.
- Panel Material/Standards:** Material: Minimum 26 Ga. Steel, ASTM A792 or ASTM A653 G90 conforming to Florida Building Code 2014 Section 1507.4.3.
 Paint Finish Optional
 Yield Strength: 50.0 ksi
 Corrosion Resistance: Panel Material shall comply with Florida Building Code 2014, Section 1507.4.3.
- Panel Dimension(s):** Thickness: 0.018" Minimum
 Width: 16" Coverage Maximum
 Female Rib: 7/8" Tall
 Male Rib: 3/4" Tall Rib with Slotted Strip
 Panel Seam: Snap Lock
- Panel Clip:** 24 Ga. Zinc Aluminum Coated Steel, 24" Long. *Used at Corner Zones only, where required design pressures exceed -121.75 psf.*
- Panel Fastener:** Through Panel Slot: (1) #10-12x1" Pancake Type A
 1/4" Minimum Penetration through Plywood.
 Corrosion Resistance: Per Florida Building Code 2014, Section 1506.6, 1507.4.4
- Substrate Description:** Minimum 15/32" thick, APA Rated plywood over supports at maximum 24" O.C. Design of plywood and plywood supports are outside the scope of this evaluation. Must be designed in accordance w/ Florida Building Code 2014.

Design Uplift Pressures:

Table "A" Maximum Design Pressures			
Roof Areas	Assembly A	Assembly B	Assembly C
Maximum Design Pressures	-63.5 psf	-121.75 psf	-161 psf
Fastener Spacing	5 1/2" O.C	5 1/2" O.C	5 1/2" O.C
Sealant	No	Yes	No
Panel Clip	No	No	Yes

*Design Pressure includes a Safety Factor = 2.0.





GULFLOK™

2 GA GULFLOK™ 16 WIDE ROOF PANE OVER 15/32 PLYWOOD
FLORIDA PRODUCT APPROVAL NO. 11651.16 R2

Code Compliance:	The product described herein has demonstrated compliance with the Florida Building Code 2014, Sections 1504.3.2.
Evaluation Report Scope:	The product evaluation is limited to compliance with the structural wind load requirements of the Florida Building Code 2014, as relates to Rule 61G20-3.
Performance Standards:	The product described herein has demonstrated compliance with: <ul style="list-style-type: none"> • UL 580-06 - Test for Uplift Resistance of Roof Assemblies • UL 1897-04 - Uplift Test for Roof Covering Systems.
Reference Data:	<ol style="list-style-type: none"> 1. UL 580-94 / 1897-98 Uplift Test Force Engineering & Testing, Inc. (FBC Organization # TST-5328) Report No. 117-0301T-10A-C, Dated 07/26/2013 2. TAS 125 Architectural Testing, Inc. (FBC Organization # TST-1527) Report No. B9000.01-450-18, Dated 12/12/2012 3. Certificate of Independence By Dan Kuhn, P.E. (FL# 75519) @ Kuhn Engineering, LLC (FBC Organization # ANE ID: 10743)
Test Standard Equivalence:	<ol style="list-style-type: none"> 1. The UL 580-94 test standard is equivalent to the UL 580-06 test standard. 2. The UL 1897-98 test standard is equivalent to the UL 1897-04 test standard.
Quality Assurance Entity:	The manufacturer has established compliance of roof panel products in accordance with the Florida Building Code and Rule 61G20-3.005(3) for manufacturing under a quality assurance program audited by an approved quality assurance entity.
Minimum Slope Range:	Minimum Slope shall comply with Florida Building Code 2014, including Section 1507.4.2 and in accordance with Manufacturers recommendations.
Installation:	Install per Manufacturer's recommended details.
Underlayment:	Shall comply with Florida Building Code 2014 section 1507.4.5.1 and 1507.4.5.2.
Roof Panel Fire Classification:	Fire classification is not part of this acceptance.
Shear Diaphragm:	Shear Diaphragm values are outside the scope of this report.





GULFLOK™

26 GA GULFLOK™ 16" WIDE ROOF PANEL OVER 15/32" PLYWOOD
FLORIDA PRODUCT APPROVAL **NO. 11651.16 R2**

Design Procedure:

For roofs within the parameters listed on the load table, fastening pattern must at a minimum meet those listed for the applicable wind zone. For all roofs outside the parameters listed on the load table, design wind loads shall be determined for each project in accordance with FBC 2014 Section 1609 or ASCE 7-10 using allowable stress design. The maximum fastener spacing listed herein shall not be exceeded. This evaluation report is not applicable in High Velocity Hurricane Zone. Refer to current NOA or HVHZ evaluation report for use of this product in High Velocity Hurricane Zone.





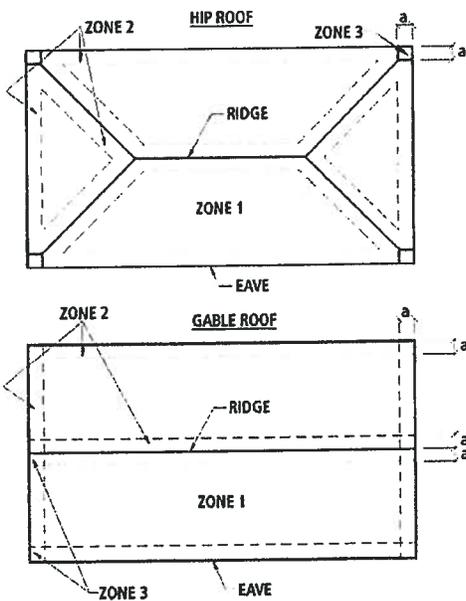
GULFLOK™

26 GA. GULFLOK™ 16" WIDE ROOF PANEL OVER 15/32" PLYWOOD
 FLORIDA PRODUCT APPROVAL NO. 11651.16 R2

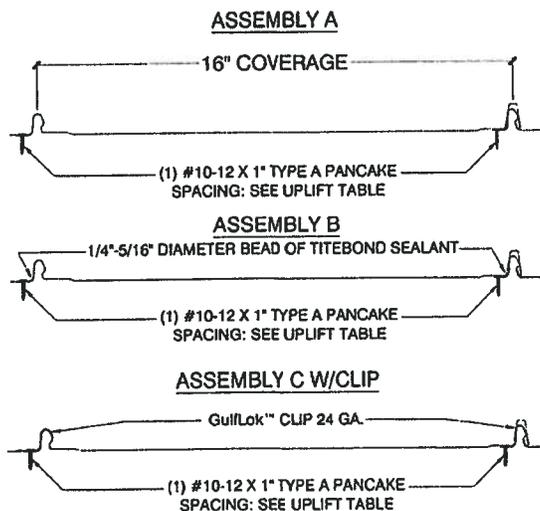
ENGINEER LOAD TABLE: 26 Ga. GulfLok™ 16" Wide Roof Panel over 15/32" Plywood									
Buildings having a Roof Mean Height ≤ 20'-0"; Roof Slope: 2"/12" - 12"/12" Gable or Hip Roof; Wind Speeds 120-180mph, Exposure C, Risk Category II, Enclosed Building, based on Florida Building Code 2014.									
WIND SPEED	FASTENER (MIN. 1/4" Penetration)	SUBSTRATE (MIN. 15/32")	120	130	140	150	160	170	180
			ON CENTER SPACING						
ZONE 1	(1) #10-12x1"	CDX PLYWOOD	ASSEMBLY A						
ZONE 2	(1) #10-12x1"	CDX PLYWOOD	ASSEMBLY A	ASSEMBLY B	ASSEMBLY B				
ZONE 3	(1) #10-12x1"	CDX PLYWOOD	ASSEMBLY A	ASSEMBLY A	ASSEMBLY B				

1.) PANEL DESCRIPTION: GULFLOK™, MIN. 26 GA, 7/8" RIB, 16" MAXIMUM COVERAGE, SNAP SEAM.
 2.) PANEL FASTENER: THROUGH PANEL SLOT: (1) #10-12X1" PANCAKE TYPE A, 1/4" MIN. PENETRATION THROUGH PLYWOOD.
 3.) MAXIMUM ALLOWABLE PANEL UPLIFT PRESSURE: -63.5 PSF AT 5 1/8" O.C. ASSEMBLY A, -121.75 PSF AT 5 1/8" O.C. WITH SEALANT ASSEMBLY B, -161 PSF AT 5 1/8" O.C. WITH CLIP ASSEMBLY C. PRESSURE BASED ON UL 580/UL 1897 TESTING BY FORCE ENGINEERING & TESTING.
 4.) PLYWOOD DECKING: MIN. 15/32" THICK, APA RATED PLYWOOD, GRADE C-D. MUST BE DESIGNED IN ACCORDANCE WITH FBC 2014
 5.) LOAD TABLE BASED ON WIND PRESSURES CALCULATED PER ASCE 7-10 (KD = 0.85) MULTIPLIED BY 0.6 PER FLORIDA BUILDING CODE 2014

Note: Dimension (a) is defined as 10% of the minimum width of the building or 40% of the mean height of the roof, whichever is smaller, however, (a) cannot be less than either 4% of the minimum width of the building or 3 feet.



FL# 11651.16 R2 • JUNE 15, 2015



PRODUCT EVALUATION REPORT



XFINITY Connect

donnalyne4227@comcast.net
+ Font Size -

Soap dish

From : Virginia <viriniaderoy@gmail.com>

Mon, Oct 03, 2016 03:45 PM

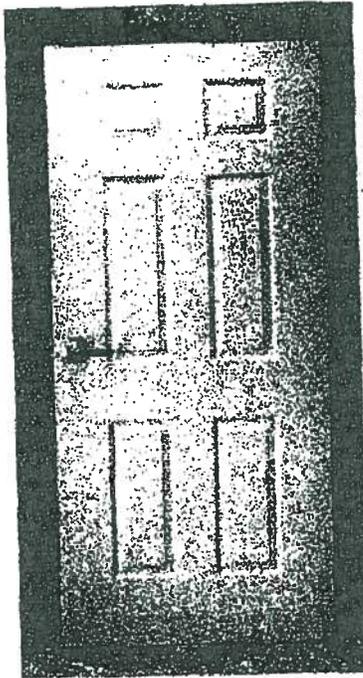
Subject : Soap dish 2 attachments**To :** Valerie Deroy <valeriederoy@hotmail.com>**Cc :** donnalyne4227@comcast.net, Myself <viriniaderoy@gmail.com>

One of these would be super useful in upstairs guest bathroom. It is, as you can see, mounted on the wall near the sink. Actually, might be nice to have these in master bathroom also.

Let's see if there are any that match our hardware. (Or at least match our towel racks/rings and toilet paper holders.)

Sent from my iPhone

**IMG_1963.JPG**
79 KB**IMG_1962.JPG**
87 KB

CE-SERIES FLUSH DOORS**ABOUT THE PRODUCT:**

The CE20, CE18 and CE16 Series embossed panel doors are designed to meet the architectural requirements for embossed panel doors. The door construction combines the features and benefits of polystyrene core laminated construction. Refer to Section 11 (Architectural) for specifications and the selection and usage guide of the appropriate door constructions.

This premium door construction combines the strength and dimensional stability of steel with the structural integrity of the laminate core. The continuous bonding of core to steel face sheets provides an attractive, flat door, free of face welding marks.

To meet application, specification and performance requirements, the CE Series embossed panel doors offers a wide range of specifiable options including sizes, glass light designs and hardware (mechanical, pneumatic, electrical) preparations.

CE-Series Doors are 1-3/4" (45mm) thick.

INSTALLATION:

1. Installation shall conform to the published Steelcraft installation instructions, ANSI A250.11-2001 (formerly SDI 105) *Recommended Erection Instructions for Steel Frames and HMMMA 840*.
2. Fire Rated Assemblies must be in accordance with NFPA Pamphlet 80. *The Authority Having Jurisdiction is the final authority on issues related to the installation and use of installed Fire Rated Doors.*

FEATURES AND BENEFITS:

Steelcraft's CE Series embossed panel doors offer the following standard unique features, which enhance long term performance and durability:

1. **A-40 Galvanized steel face sheets**
2. **Polystyrene Core** provides enhanced thermal performance
3. **Full Height, Epoxy Filled Mechanical Interlock Edges** provide structural support and stability the full height of the door edges. Available edge options:
 - **Visible Edge Seam** (standard) – full height, epoxy filled mechanical interlocked edges
 - **Filled Seam** – optional edge seam epoxy filled and finished smooth. Includes tack welds above and below edge cutouts for hinges, locks, etc
4. **Universal Hinge Preparations** (patented) allow for easy field conversion from standard weight .134" (3.3mm) hinges to heavy weight .180" (4.7mm) hinges.
5. **1/4 Gage [0.067" (1.7mm)] Inverted Top and Bottom Channels** provide stability and protection for the top and bottom edges from abuse.
6. **Beveled Hinge and Lock Edges** allow for tighter installation tolerances, ensure easier operation and eliminate binding and sticking.
7. **Recessed Designer™ Glass Trim** provides a clean, neat and flush finish with the door surface.
8. **Factory Applied Baked-On Rust Inhibiting Primer** paint in accordance with ANSI A250.10-1998.

SPECIFICATION COMPLIANCE:

1. Door construction for Steelcraft CE Series embossed panel doors meets the requirements of ANSI A250.8-2003 (SDI 100).
2. Hardware preparations and reinforcements are in accordance with ANSI A250.6-2003. Locations are in accordance with ANSI/DHI A115 unless otherwise stated.
3. Door construction for the CE Series embossed panel doors meets ANSI A117.1-1998 (ADA) requirements for minimum 10" (254mm) bottom-rail height measured from the floor.

FIRE RATINGS:

CE Series embossed panel doors meet the broadest fire rating requirements. They are listed for installations requiring compliance to both neutral pressure testing (ASTM E152 and UL-10B) and positive pressure standards (UBC 7-2 and UL-10C).

STEELCRAFT.

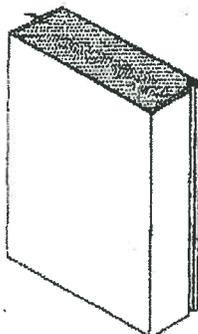
FLUSH DOORS CE-SERIES

LAMINATED COMBINATION CORE



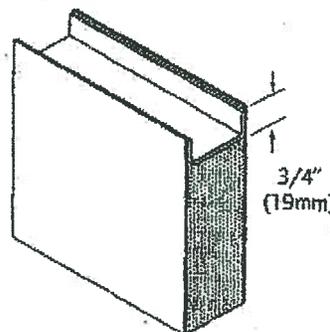
Standard CE Series Core

- 1 pound (453.6g) per ft² density polystyrene slab centered in the door
- 1" (25mm) cell, 99 pound kraft honeycomb inserted in the void areas
 - honeycomb edges sanded for maximum adhesion
 - impregnated with phenolic resin (resists mildew and vermin)
- Polystyrene slab and honeycomb laminated to both face sheets with contact adhesive
- Assembled door is run through high pressure pinch rollers, achieving ultimate bond



Standard Premium Edge Construction

- Beveled hinge & lock edges
- Full height mechanical interlock with epoxy adhesive
- Visible edge seam standard
- Seamless edge optional



Standard Rigid 14 Gage End Channel Construction

- 14 gage inverted galvanized top & bottom channels
- Projection welded to both face sheets
- Optional 24 gage galvanized top caps

DOOR APPLICATION AND USAGE

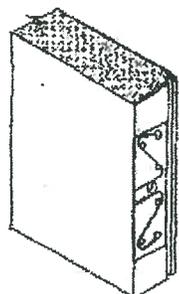
Series	Steel Thickness	Opening	Usage Frequency	
CE20	20 Ga (0.8mm)	Interior or Exterior - Galvanized Steel	Standard Duty	Light Commercial applications with minimal use and abuse
CE18	18 Ga (1.0mm)		Heavy Duty	Heavy Commercial & Institutional applications with high use
CE16	16 Ga (1.3mm)		Extra Heavy Duty	Extra Heavy Commercial applications with potential of very high use

CE-SERIES FLUSH DOORS

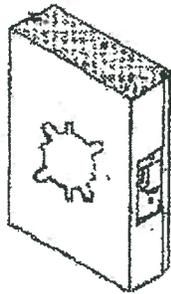


STANDARD HARDWARE PREPARATIONS

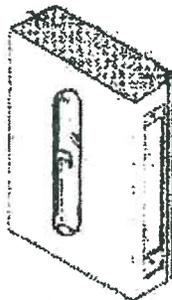
Typical hardware applications shown. Refer to section 8 for more details.



Universal Mortise Hinge
7 Gage Universal hinge reinforcement



61L Lock



86 Lock



**Inactive Leaf ASA
Strike Prep with
Astragal attached**



**Optional 14 Gage
Closer Reinforcement**

Standard: mortised and reinforced for

- Patented **Universal hinge preparations** allow for easy field conversion from standard 4-1/2" x .134" standard weight hinges to 4-1/2" (114mm) x .180" heavy weight hinges. Optional hinge preparation for 5" x .146" standard weight hinges or for 5" (127mm) x .190" heavy weight hinges is also available.
- The cylindrical 161, 61L and mortise 86 lock preps are the most commonly used active leaf preparations. The 4 7/8 (124mm) strike prep is the most commonly used inactive leaf preparation.
- Optional reinforcements for surface Closers are available.
- Special hardware applications are available.

Door Sizes and ANSI A250.8 Conversions

Steelcraft product selection for CE Series Doors has been matched to ANSI/ISD Level and Model designations.

- In accordance with ANSI A250.8, core material is not specific to the level or model designations. Core material selection is specified based on preference and application.
- Recommended minimum frame gage also applies to the frequency of operation of the opening.

Series	ANSI A250.8 - SDI 100			Edge Construction Options	Maximum Sizes			
	Level	Model	Description		6 Panel Door Design		8 Panel Door Design	
					Single	Pair	Single	Pair
Level 1 - Light Commercial								
CE20	1	1	Full Flush	Visible	3'-0" x 8'-0"	6'-0" x 8'-0"	3'-0" x 7'-0"	6'-0" x 7'-0"
CE20		2	Seamless	Epoxy Filled	914mm x 2438mm	1829mm x 2438mm	914mm x 2134mm	1829mm x 2134mm
Level 2 - Heavy Duty Commercial & Institutional								
CE18	2	1	Full Flush	Visible	3'-8" x 7'-0"	7'-4" x 7'-0"	Not Available	Not Available
CE18		2	Seamless	Epoxy Filled	1118mm x 2134mm	2235mm x 2134mm		
Level 3 - Extra Heavy Duty Commercial & Institutional								
CE16	3	1	Full Flush	Visible	3'-0" x 8'-0"	6'-0" x 8'-0"	Not Available	Not Available
CE16		2	Seamless	Epoxy Filled	914mm x 2438mm	1829mm x 2438mm		

STEELCRAFT.

FLUSH DOORS CE-SERIES

DOOR EDGE CONSTRUCTION:

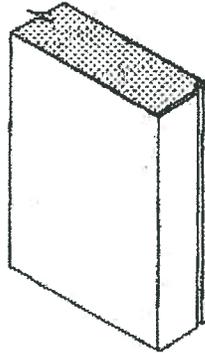
- Optional Edge Seams available in the L Series doors:
 - CF – the mechanical edge seam is filled and finished prior to applying the factory primer.

Beveled Edge with Full Height Mechanical Interlock

Full Flush

CE Series Visible Seam Features

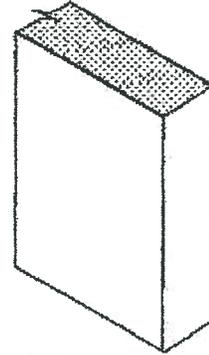
- Full height mechanical interlock
- Interlock filled with epoxy adhesive
- Visible edge seam



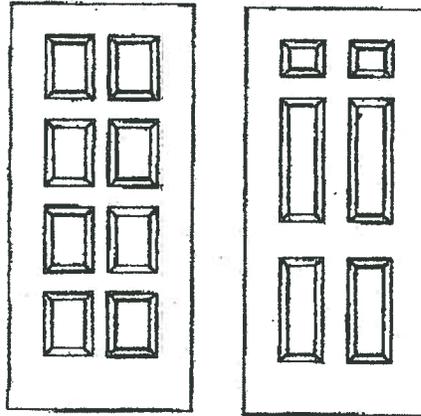
Seamless

CF Series Seam Filled Features

- Full height mechanical interlock
- Interlock filled with epoxy adhesive
- Seam epoxy filled and finished
- No visible edge seam



Embossed Pattern Designs



8 Panel

6 Panel

NOTES:

1. Standard door sizes are available as follows:

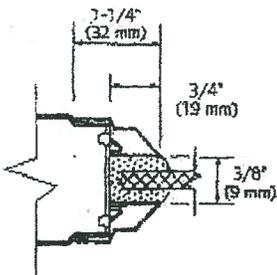
Panel Design	Upper Width	Lower Width
6 Panel	2' 6", 2' 8"	6' 8", 7' 0"
	2' 10", 3' 0"	6' 8", 6' 10"
	3' 2", 3' 4"	7' 0", 8' 0"
	3' 6", 3' 8"	
8 Panel	2' 10", 3' 0"	6' 8", 7' 0"
	2' 8", 3' 0"	

- Refer to section 3.3 of this manual for all panel dimensions.
- Availability of non standard door sizes is limited.

GLASS LIGHT OPTIONS – REFER TO THE LIGHTS AND LOUVERS SECTION FOR FURTHER DETAILS AND OPTIONS

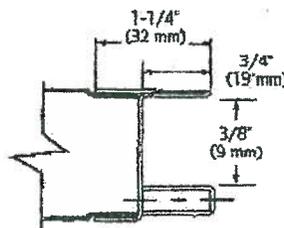
Designer® Trim

- Standard 1/4" Thick Glass
- Optional 1/2" Thick Glass

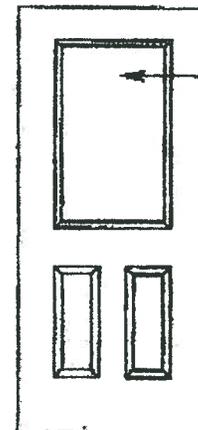


Recessed Steel Insulated Glass Trim

- For 1" Thick Glass



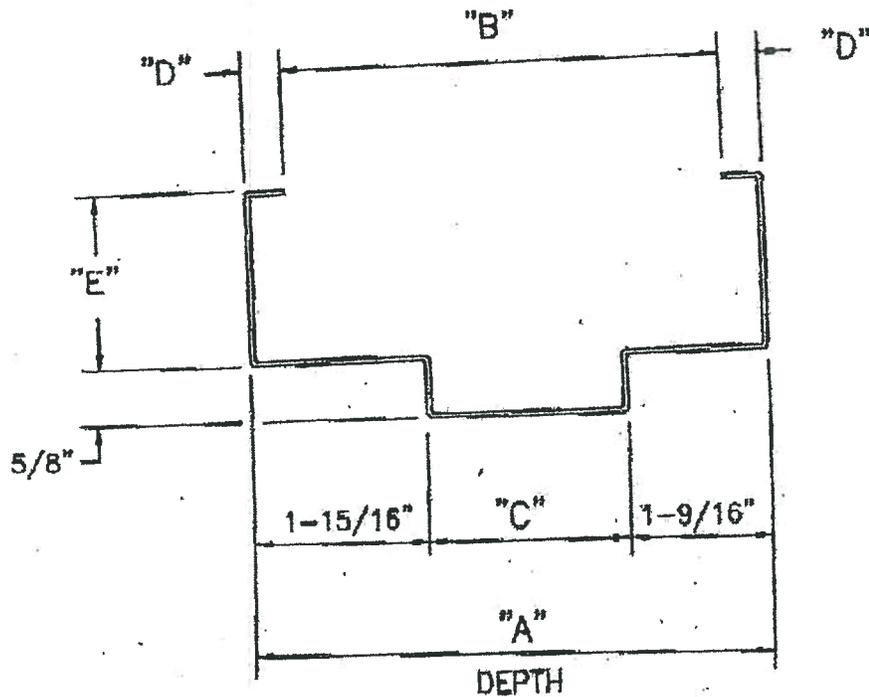
Divider Muntins Are Not Available



Note: Glazing type and thickness vary per job requirements.

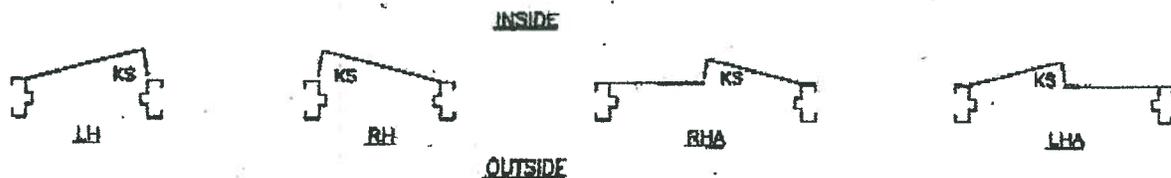


SERIES SU STEEL FRAMES (UNEQUAL RABBET)
 FOR 1-3/4" THICK DOORS
 STANDARD WALL APPLICATION, HANDED



DEPTH	A	B	C	D	E	
					HEAD & JAMBS	HEAD & JAMBS
434	4-3/4"	3-3/4"	1-1/4"	1/2"	2"	1"
534	5-3/4"	4-7/8"	2-1/4"	7/16"	2"	1"
634	6-3/4"	5-3/4"	3-1/4"	1/2"	2"	1"
734	7-3/4"	6-3/4"	4-1/4"	1/2"	2"	1"
834	8-3/4"	7-3/4"	5-1/4"	1/2"	2"	1"

Series SU, double rabbet frames (with unequal rabbets) are also available in a range of depths from: 4-1/2" thru 10-5/8" in 1/8" increments. 4" face heads with 2" face jambs are also available in selected sizes.



"KS" - KEY SIDE

TECH-DATA

SERIES SU STEEL FRAMES

STANDARD SIZES NOMINAL DOOR OPENING

WIDTH		HEIGHT
SINGLE	DOUBLE	
2'-0"	4'-0"	6'-8"
2'-4"	4'-8"	
2'-6"	5'-0"	
2'-8"	5'-4"	
2'-10"	5'-8"	
3'-0"	6'-0"	
3'-4"	6'-8"	
3'-6"	7'-0"	
3'-8"	7'-4"	
3'-10"	7'-8"	
4'-0"	8'-0"	9'-0"

PRODUCT SPECIFICATIONS:

Steel door frames shall be as manufactured by Ceco Door Products, Milan, TN USA. They shall conform to the Steel Door Institute guide specification, ANSI A250.8-1998. See chart below for performance classifications.

Series SU frames for 1-3/4" doors are formed from commercial quality cold rolled steel conforming to ASTM A366 or A620 & A568 ...or (optional) hot-dipped galvanized steel conforming to ASTM A924 and A653 - see chart below.

Frames are knocked down (K.D.) field assembled type or welded unit type. Head and jamb members of K.D. frames have diecut mitered corners that interlock rigidly when field assembled. Integral door stops are 5/8" high. Jambs are sized to suit wall applications. Twist-in anchors are available for new masonry, wood stud, metal stud or existing opening wall conditions (indicate which). Floor anchors or extra jamb anchors are provided to anchor sill. Welded-in jamb or floor anchors are also available.

FIRE DOORS

LABELING AGENCIES:

- UNDERWRITERS LABORATORY
- WARNOCK HERSEY
- FACTORY MUTUAL

TEST: ASTM E-152, UL10B, UBC 43-2

• RATING: 20 MIN, 3/4 HR, 1 HR, 1-1/2 HR, OR 3 HR

• MAX. SIZE: 40 x 90 SINGLE
80 x 80 PAIR

Not all ratings are available in all sizes, designs and materials. Hourly classifications are not shown on label unless class is less than 3 hours.

Hardware Provisions: Frames are handed. Hinge jambs are mortised for 4-1/2" or 5" high, standard and heavy weight hinges (specify which). 7 gage steel reinforcements are welded in place and are drilled and tapped for fasteners in accordance with ANSI A156.7. The strike jamb is prepared for 4-7/8" universal or 2-3/4" cylindrical strike in accordance with ANSI A 115.1 & 2 (specify which). Plaster guards are provided. Optional closer reinforcement is a 14 gage steel formed steel sleeve. 3 door mutes are provide per strike jamb and 2 for double swing heads.

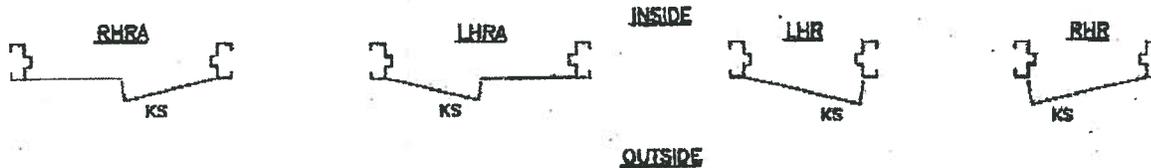
Paint: Steel door frames are provided with one coat of oven-cured neutral color primer paint. Primer coat shall conform with ANSI A250.10. The primer coat is a preparatory base for necessary finish painting. "Colorstyle" finish coat is also available from a selection of standard colors (optional). Colorstyle finish is electrostatically applied, oven-cured urethane enamel.

MATERIAL

DOOR FRAME MATERIAL	GRADE	C.R.	GALV		
			A40	A60	G90
16 Gage Steel	Heavy Duty	STD	-	OPT	OPT
14 Gage Steel	Extra heavy Duty	STD	-	OPT	OPT

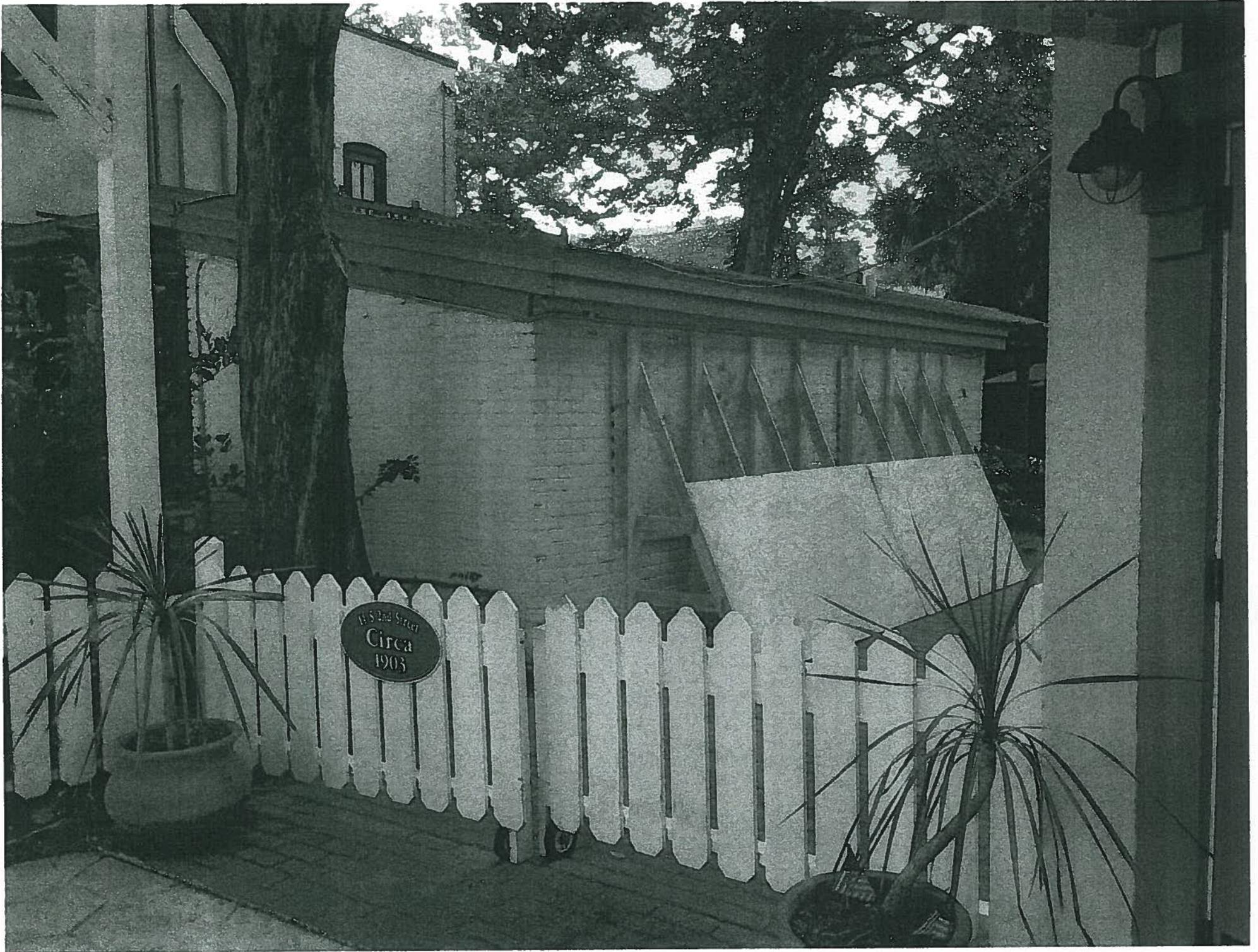
PERFORMANCE

Physical Endurance Level:	Meets S.D.I. 119 Performance Test, Level A (1,000,000 Cycles)
---------------------------	---------------------------------------------------------------



"SUFFIX A" = ACTIVE LEAF OF PAIRS





115 2nd Street
Circa
1903



Regal White
SR .68 TE .86 SRI 82



Solar White
SR .68 TE .85 SRI 82



Sandstone
SR .54 TE .86 SRI 63



Ash Gray
SR .39 TE .84 SRI 41



Sierra Tan
SR .35 TE .86 SRI 37



Slate Gray
SR .36 TE .84 SRI 37



Aged Copper
SR .47 TE .85 SRI 53



Evergreen
SR .27 TE .86 SRI 26



Brook Blue
SR .29 TE .85 SRI 28



Cobalt Stone
SR .26 TE .85 SRI 24



Terra Cotta
SR .35 TE .87 SRI 37



Regal Red
SR .42 TE .84 SRI 45



Colonial Red
SR .33 TE .85 SRI 34



Mansard Brown
SR .27 TE .86 SRI 26



Medium Bronze
SR .30 TE .87 SRI 31



Dark Bronze

PVDF Resin Technology

KYNAR500[®] PAINT FINISHES

See color profile availability matrix for lead times - Not all colors available in all profiles.



Feel confident when you hire a...
5 POINT CERTIFIED[™] METAL ROOF INSTALLER
LEARN MORE AT www.GulfCoastCertified.com



KYNAR500[®]

PVDF Resin Technology

METAL ROOF COLOR THAT LASTS!

Take The FADE TEST CHALLENGE

www.EverythingElseFades.com

- SUPERIOR UV PROTECTION
- PREMIUM WEATHERABILITY
- MILDEW RESISTIVE FINISH
- UNMATCHED COLOR RETENTION



Notice the Difference!
After just 10 years in Florida's sun

KYNAR500[®] TECHNOLOGY VS. **STANDARD SMP PAINT FINISH**

Age Gracefully with...

KYNAR500[®] METALLIC PAINT FINISHES

No Roof Finish outlasts the Lasting Beauty of Age-Resistant Metallic Paint Finishes.

Gulfalume
UNPAINTED FINISH
SR .69 TE .06 SRI 55



Copper
SR .49 TE .85 SRI 55



Napa Champagne
SR .37 TE .80 SRI 37



Nevada Silver
SR .60 TE .77 SRI 68



Pre-Weathered Gulfalume
SR .30 TE .79 SRI 27

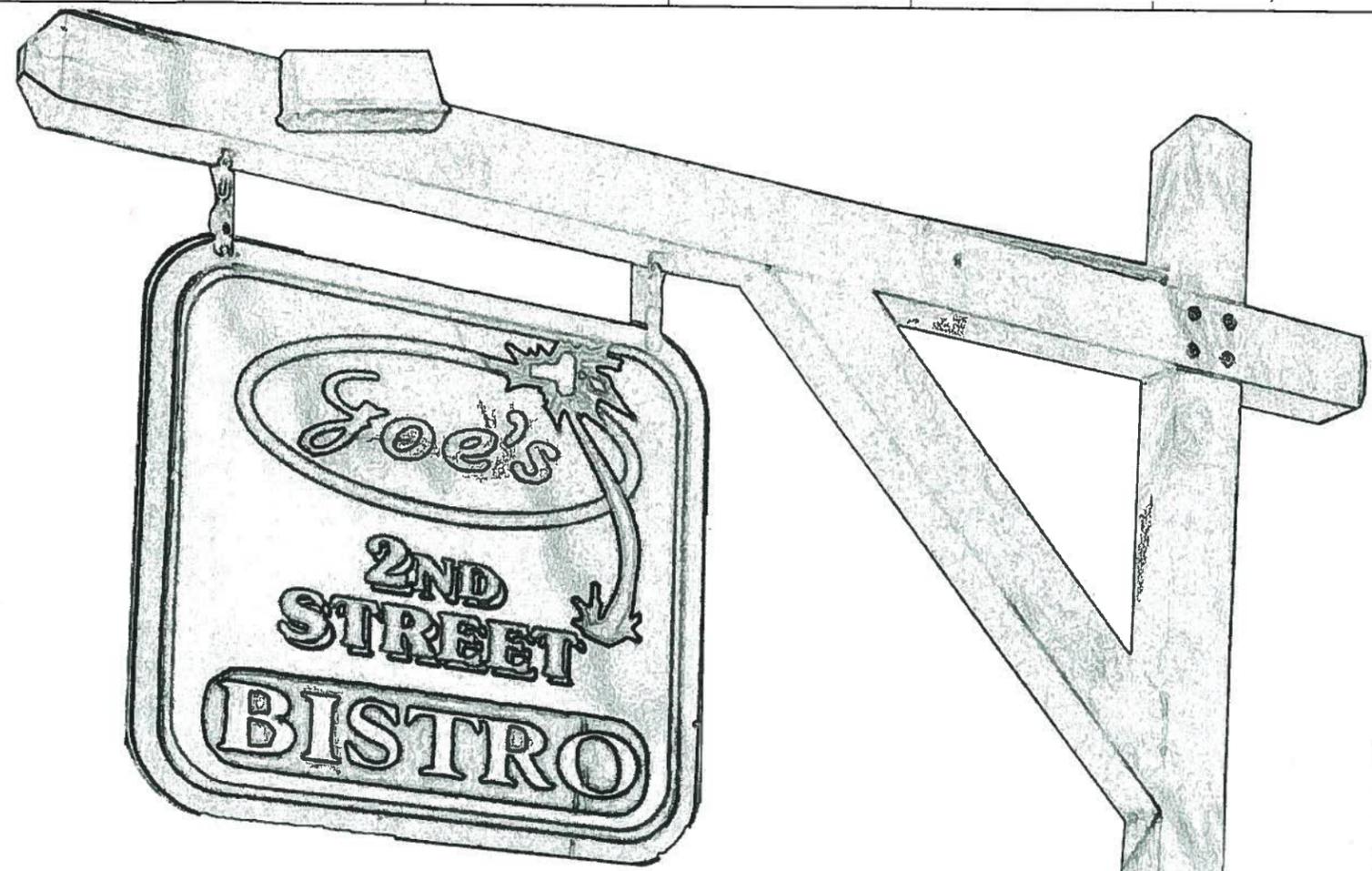


SW 7005
Pure White

255-C1

SW 7017
Dorian Gray

244-C3



Reconstruct Storage Shed and Other Miscellaneous Improvements

Joe's Second Street Bistro
 14 South Second Street
 Fernandina Beach, FL

SSL&L
 Seay, Seay & Litchfield Architects

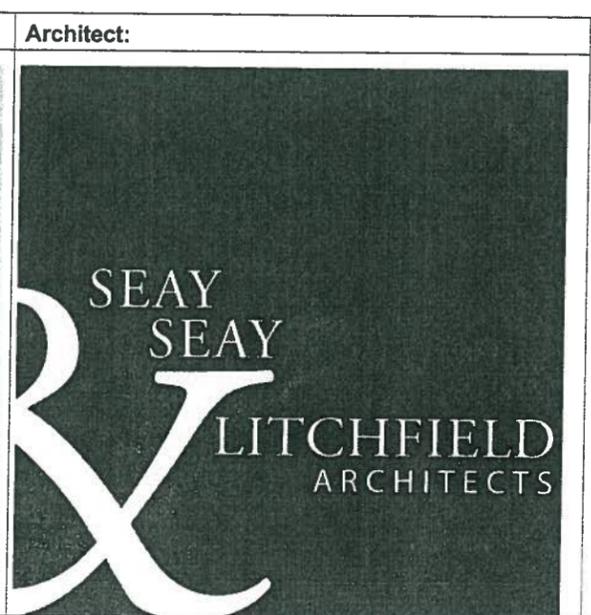
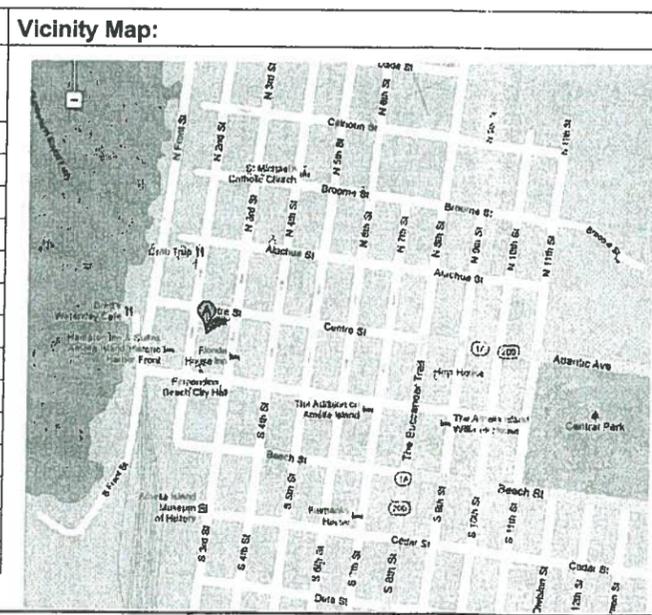
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 Montgomery, AL 36104
 334. 263. 5162 sslarch.com

Job Number: 12115.01
 Date: 2016/10/14
 Drawn By: DCD
 Checked By: JS
 Revised:

Project Title:
 Storage Shed Reconstruction
 Joe's Second Street Bistro
 14 Second Street S
 Fernandina Beach, FL

Sheet Title:

Sheet Schedule	
Sheet No.	Sheet Name
T1.0	Index
LS1.0	Life Safety Plan
A1.1	Demolition Plan
A2.1	New Floor Plan
A2.2	Front Shed Plan & Details
A2.3	Rear Shed Plans and Elevations
A4.1	Front Shed Elevations, Wall Section & Details
A4.3	Entry Gate & Sign Elevations
A4.4	Signage Post Details
S1.0	Front Shed Foundation Plan, Roof Framing Plan, and Sections
S2.0	Rear Shed Foundation Plan, Roof Framing Plan, and Details
E0.1	Electrical Criteria Drawing
E2.0	Electrical Criteria Drawings



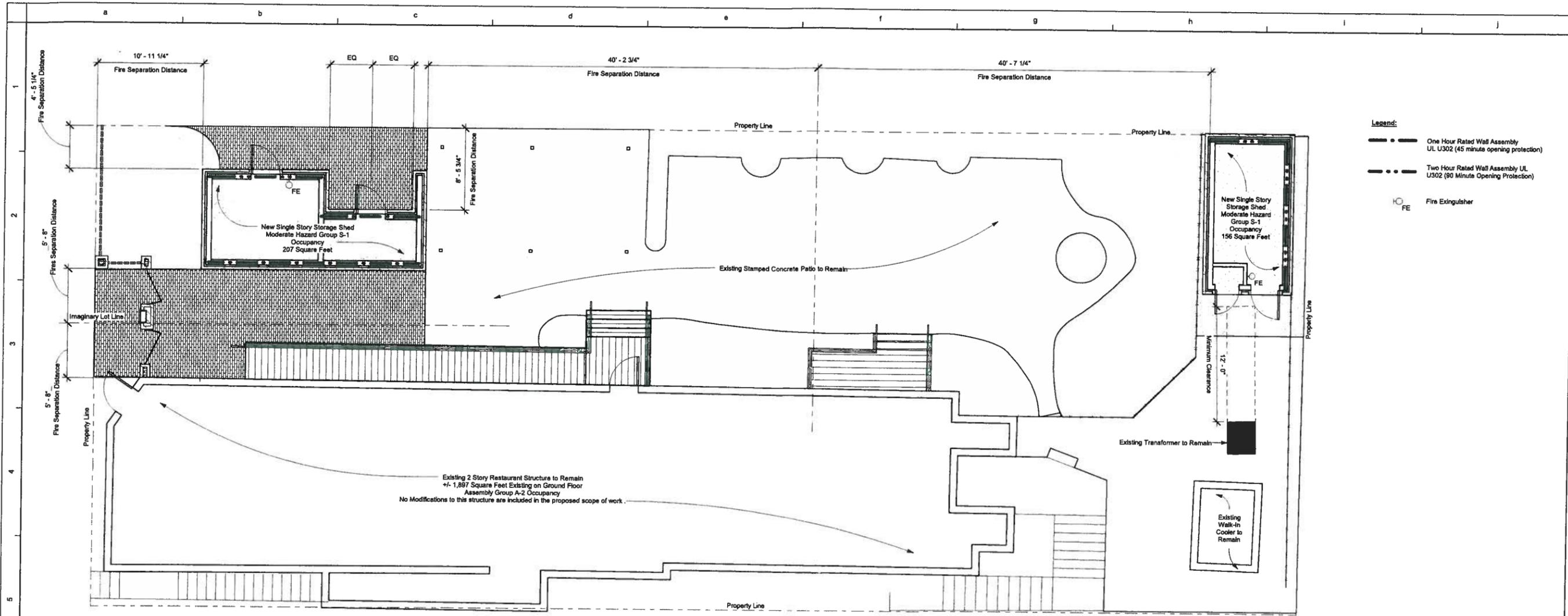
James H Seay Jr.
 Digitally signed by James H Seay Jr.
 DN: cn=James H Seay Jr., o=Seay Seay and Litchfield, ou, email=jhseay@sslarch.com, c=US
 Date: 2016.10.14 17:05:35 -05'00'

Index

Sheet Number

T1.0





- Legend:**
- One Hour Rated Wall Assembly UL U302 (45 minute opening protection)
 - Two Hour Rated Wall Assembly UL U302 (90 Minute Opening Protection)
 - FE Fire Extinguisher

1 Life Safety Plan
LS1.0 3/16" = 1'-0"

Code Calculations in Accordance with Florida Building Code, 5th Edition (2014)

- Chapter 3: Occupancy & Use:**
- Both Proposed New Structures are Moderate Hazard S-1, Non-Occupied Storage Structure
 - Existing Restaurant Structure is defined as an Assembly Group A-2
- Chapter 4: Special Detailed Requirements:**
- No special requirements pertaining to the two storage structures apply.
- Chapter 5: General Building Heights & Areas**
- Per Table 503, a maximum of 8,000 square feet per floor, one floor above grade and 40 feet maximum height above grade is allowed for Group S-1 Structures constructed of Type V-B construction.
 - Proposed Front Storage Shed: 207 Square Feet, One Story, Type S-1 Occupancy - Type V-B Non-Sprinkled Construction
 - Proposed Rear Storage Shed: 153 Square Feet, One Story, Type S-1 Occupancy - Type V-B Non-Sprinkled Construction
- Chapter 6: Types of Construction:**
- Existing Restaurant Structure is a Type V-B, Non-Sprinkled Building
 - Proposed Front Storage Shed is to be Type V-B, Non-Sprinkled
 - Proposed Rear Storage Shed is to be Type V-B, Non-Sprinkled
 - Per Table 601, 0 hour rating is required on the primary structural frame, interior and exterior bearing walls, non-bearing interior partitions, roof construction, and floor construction.
 - Per Table 602:
 - A 2 hour fire rated exterior wall is required for Group S-1 Structures with less than 5 feet of fire separation distance to adjacent property lines.
 - A 1 hour fire rated exterior wall is required for Group S-1 Structures with between 5 feet and 10 feet of fire separation distance to adjacent property lines.
 - 0 hour rated exterior walls are required for Group S-1 Structures with a fire separation distance of greater than 10 feet.
- Chapter 7: Fire and Smoke Protection Features**
- Fire rated assemblies will be provided on proposed new structures as indicated on the legend.
 - For required 1 hour rated assemblies, 45 minute opening protection assemblies will be provided per table 716.5
 - For required 2 hour rated assemblies, 90 minute opening protection assemblies will be provided per table 716.5
- Chapter 8: Interior Finishes**
- Finish Material Rating Requirements Per Table 803.9
 - Exit Enclosures - Class B
 - Corridors - Class B
 - Rooms & Enclosed Spaces - Class C
- Chapter 9: Fire Protection Systems:**
- Per section 903.2.9, S-1 occupancies less than 12,000 square feet do not require automatic fire sprinkler systems.
 - Portable fire extinguishers will be provided per section 906. See plan for locations.
 - For S-1 occupancy, manual and/or automatic fire alarm systems are not required per section 907.

Code Calculations in Accordance with Florida Building Code, 5th Edition (2014) continued.

- Chapter 10: Means of Egress:**
- Front Shed:
 - 207 SF = 1 Occupant
 - Rear Shed:
 - 156 SF = 1 Occupant
 - Per Section 1008.1, the minimum clear opening width for all doors on the proposed new structure is 32".
 - Per exception 1 of section 1011.1, no exit signs are required for either proposed new structure.
 - Handrails complying with section 1012 are being provided at the existing accessible ramp.
 - Guardrails complying with section 1013 are being provided at the existing accessible ramp.
 - Per table 1014.3, common path of egress travel is limited to 100'
 - Per table 1015.1, only one exit is required per structure.
 - Per table 1016.2, the exit access travel distance is limited to 300 feet.
 - All exits from both proposed new structures discharge to the exterior in accordance with section 1027.1

General Protect Requirements:

- INSURANCE & LICENSE REQUIREMENTS:**
- ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK ASSOCIATED ON THIS PROJECT SHALL HAVE BUSINESS LICENSES AS REQUIRED BY ALL STATE LOCAL AUTHORITIES.
 - ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE BOND AND INSURED FOR THE COST OF THE WORK BEING PERFORMED UNDER THE CONTRACTOR SUBCONTRACT ASSOCIATED WITH THE SCOPE OF WORK BEING PERFORMED.
 - ALL CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO HAVE, AND MAINTAIN, IN FULL EFFECT ALL INSURANCES AND INSURANCE LIMITS REQUIRED BY STATE AND LOCAL AUTHORITIES INCLUDING, BUT NOT LIMITED TO, WORKER'S COMPENSATION AND EMPLOYER'S LIABILITY INSURANCE, COMMERCIAL GENERAL LIABILITY INSURANCE, COMMERCIAL BUSINESS AUTOMOBILE LIABILITY INSURANCE, COMMERCIAL UMBRELLA LIABILITY INSURANCE, AND BUILDERS RISK INSURANCE.
 - IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY INSURANCE COVERAGES OF SUBCONTRACTORS PRIOR TO ENGAGING IS SUBCONTRACTS.
- SITE SAFETY REQUIREMENTS:**
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JOB SITE SAFETY. MAINTAIN ALL CODE REQUIRED EGRESS AND EXITING AT ALL TIMES DURING CONSTRUCTION PER ALL GOVERNING AUTHORITIES.
 - ALTHOUGH NOT ANTICIPATED, IF ANY WORK OF THIS PROJECT TAKES PLACE DURING OPERATING HOURS OF THE RESTAURANT, THE CONTRACTOR SHALL ERECT TEMPORARY BARRIERS AND TAKE ALL PRECAUTIONS NECESSARY TO ENSURE THE SAFETY OF THE RESTAURANT STAFF AND PATRONS WHILE MAINTAINING ALL REQUIRED EGRESS.
- WOODWORK REQUIREMENTS:**
- ALL INTERIOR WOOD TO BE GRADE B OR BETTER SOUTHERN YELLOW PINE.
 - ALL EXTERIOR WOOD TO BE PRESSURE TREATED S4 X 6 SOUTHERN YELLOW PINE.
 - COMPLY WITH ALL AWI STANDARDS.
- PAINTING REQUIREMENTS:**
- EXTERIOR WOOD TO BE PROVIDED WITH ON COAT ALKYD PRIMER SEALER MPI #45 AND TWO COATS FLOOR ENAMEL MPI#60. COLOR AS SELECTED BY OWNER TO MATCH EXISTING.
 - INTERIOR WOOD TO BE PROVIDED WITH MPI SYSTEM INT#6.3T INCLUDING ONE COAT LATEX PRIMER MPI#39 AND TWO FINISH COATS LATEX MPI#54. COLOR AS SELECTED BY OWNER.
 - INTERIOR GYPSUM BOARD ASSEMBLIES TO RECEIVE MPI SYSTEM INT9.2A LATEX INCLUDING ONE COAT LATEX PRIMER SEALER MPI#50 AND TWO COATS LATEX INTERIOR EGGSHELL MPI#52 IN COLOR SELECTED BY THE OWNER.
 - ENSURE MOISTURE CONTENT OF WOOD IS BELOW RECOMMENDED STANDARDS PRIOR TO PAINTING.
 - BACK PRIME ALL CONCEALED SURFACES PRIOR TO INSTALLATION.
- ADDITIONAL LIFE SAFETY REQUIREMENTS:**
- PROVIDE FIRE EXTINGUISHERS AND SEMI-RECESSED CABINETS/BRACKETS WHERE INDICATED ON THE PLANS AND AS REQUIRED BY APPLICABLE CODES.
 - PROVIDE TYPE ABC AND TYPE K EXTINGUISHERS AS REQUIRED BY APPLICABLE CODES.

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Seay, Seay & Litchfield Architects

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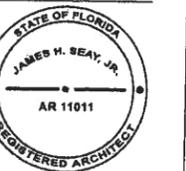
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Joe's Second Street Bistro**
14 Second Street S
Fernandina Beach, FL

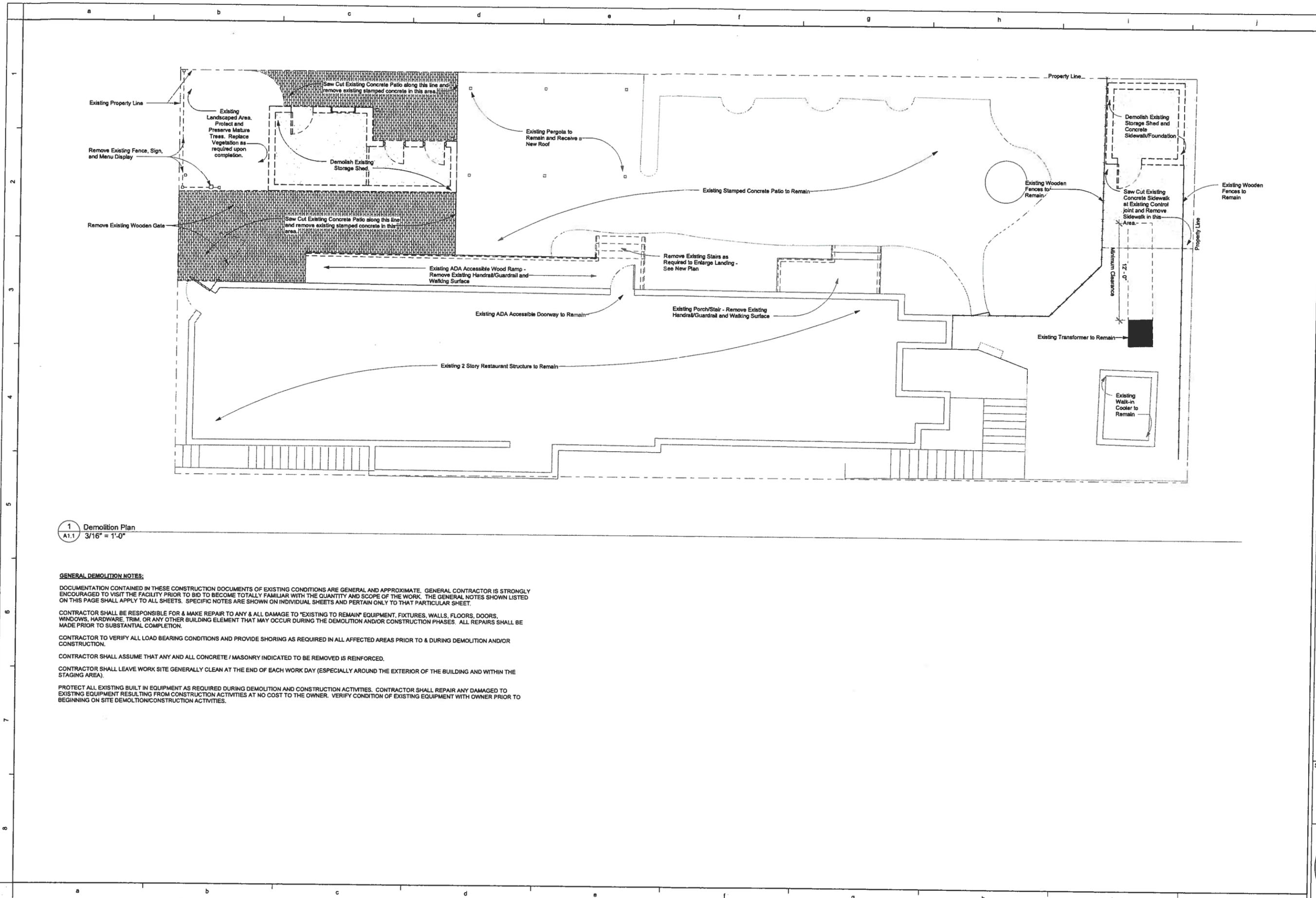
Sheet Title

Life Safety Plan

Sheet Number

LS1.0





1 Demolition Plan
A1.1 3/16" = 1'-0"

GENERAL DEMOLITION NOTES:

DOCUMENTATION CONTAINED IN THESE CONSTRUCTION DOCUMENTS OF EXISTING CONDITIONS ARE GENERAL AND APPROXIMATE. GENERAL CONTRACTOR IS STRONGLY ENCOURAGED TO VISIT THE FACILITY PRIOR TO BID TO BECOME TOTALLY FAMILIAR WITH THE QUANTITY AND SCOPE OF THE WORK. THE GENERAL NOTES SHOWN LISTED ON THIS PAGE SHALL APPLY TO ALL SHEETS. SPECIFIC NOTES ARE SHOWN ON INDIVIDUAL SHEETS AND PERTAIN ONLY TO THAT PARTICULAR SHEET.

CONTRACTOR SHALL BE RESPONSIBLE FOR & MAKE REPAIR TO ANY & ALL DAMAGE TO "EXISTING TO REMAIN" EQUIPMENT, FIXTURES, WALLS, FLOORS, DOORS, WINDOWS, HARDWARE, TRIM, OR ANY OTHER BUILDING ELEMENT THAT MAY OCCUR DURING THE DEMOLITION AND/OR CONSTRUCTION PHASES. ALL REPAIRS SHALL BE MADE PRIOR TO SUBSTANTIAL COMPLETION.

CONTRACTOR TO VERIFY ALL LOAD BEARING CONDITIONS AND PROVIDE SHORING AS REQUIRED IN ALL AFFECTED AREAS PRIOR TO & DURING DEMOLITION AND/OR CONSTRUCTION.

CONTRACTOR SHALL ASSUME THAT ANY AND ALL CONCRETE / MASONRY INDICATED TO BE REMOVED IS REINFORCED.

CONTRACTOR SHALL LEAVE WORK SITE GENERALLY CLEAN AT THE END OF EACH WORK DAY (ESPECIALLY AROUND THE EXTERIOR OF THE BUILDING AND WITHIN THE STAGING AREA).

PROTECT ALL EXISTING BUILT IN EQUIPMENT AS REQUIRED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL REPAIR ANY DAMAGED TO EXISTING EQUIPMENT RESULTING FROM CONSTRUCTION ACTIVITIES AT NO COST TO THE OWNER. VERIFY CONDITION OF EXISTING EQUIPMENT WITH OWNER PRIOR TO BEGINNING ON SITE DEMOLITION/CONSTRUCTION ACTIVITIES.

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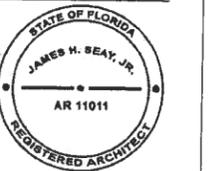
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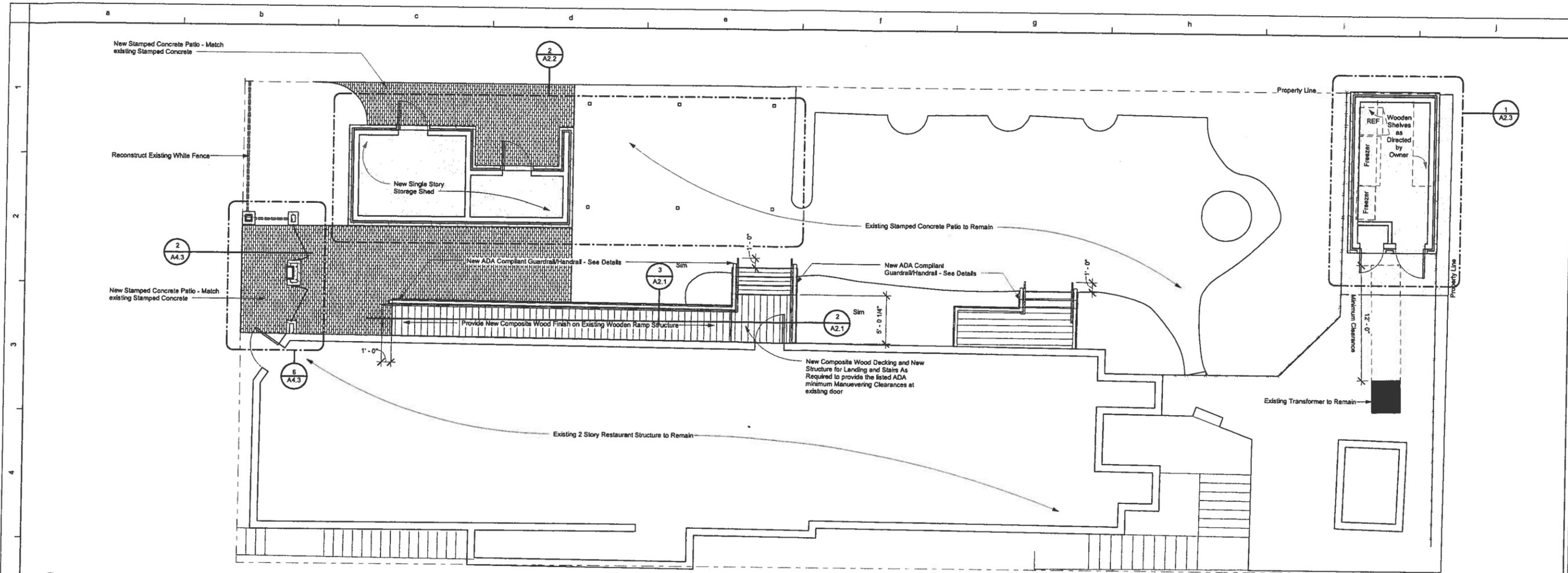
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Demolition Plan

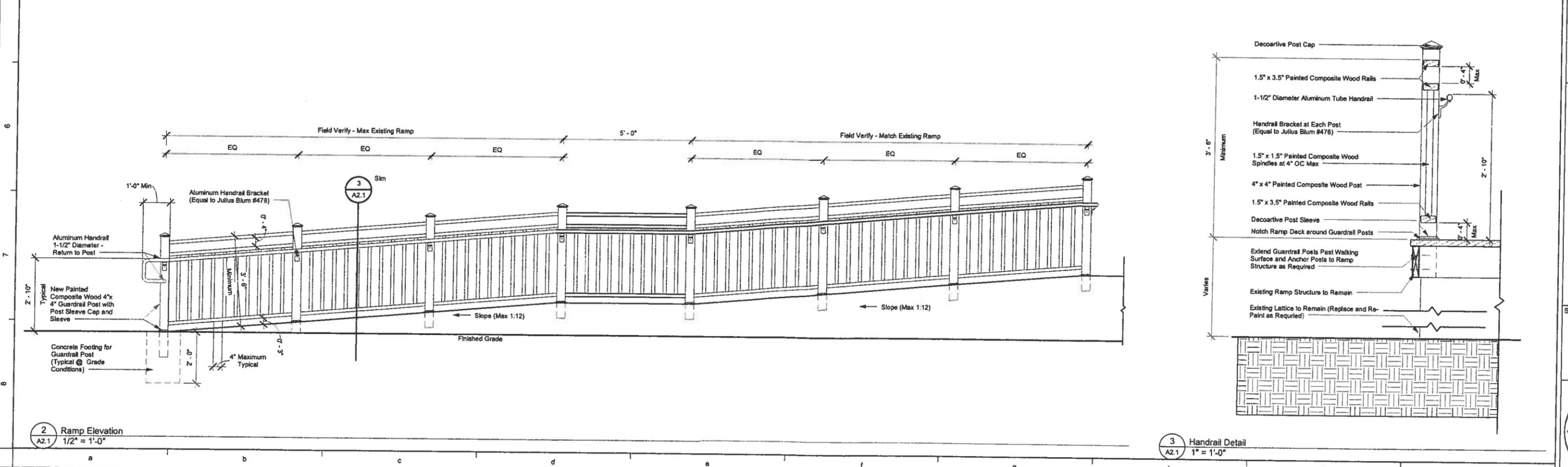
Sheet Number

A1.1





1 New Floor Plan
A2.1 3/16" = 1'-0"



2 Ramp Elevation
A2.1 1/2" = 1'-0"

3 Handrail Detail
A2.1 1" = 1'-0"

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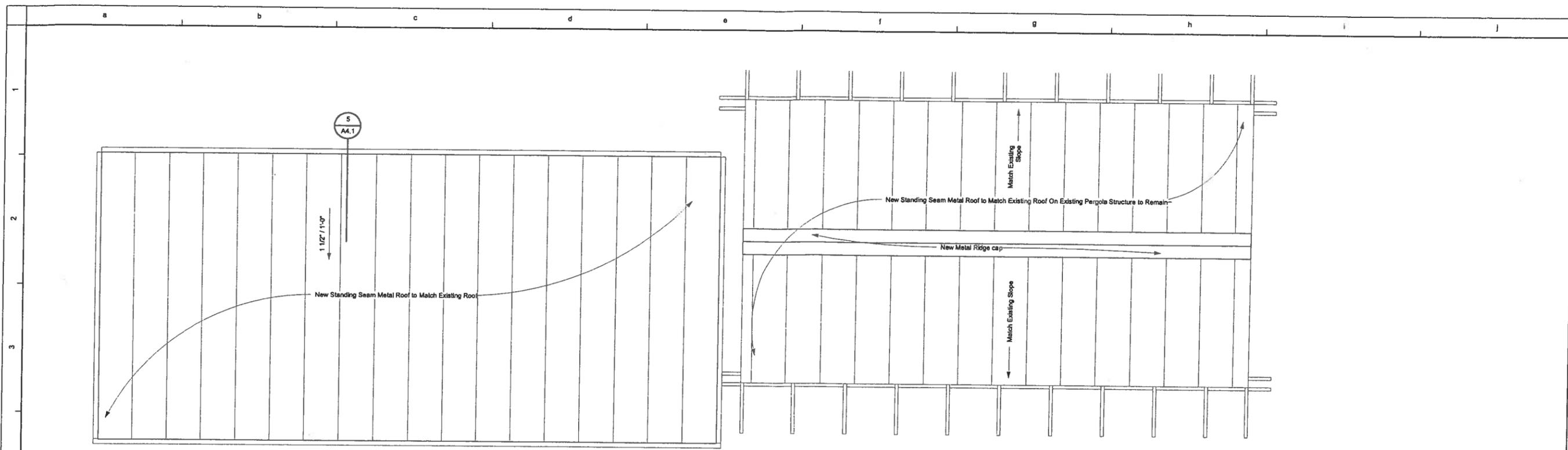
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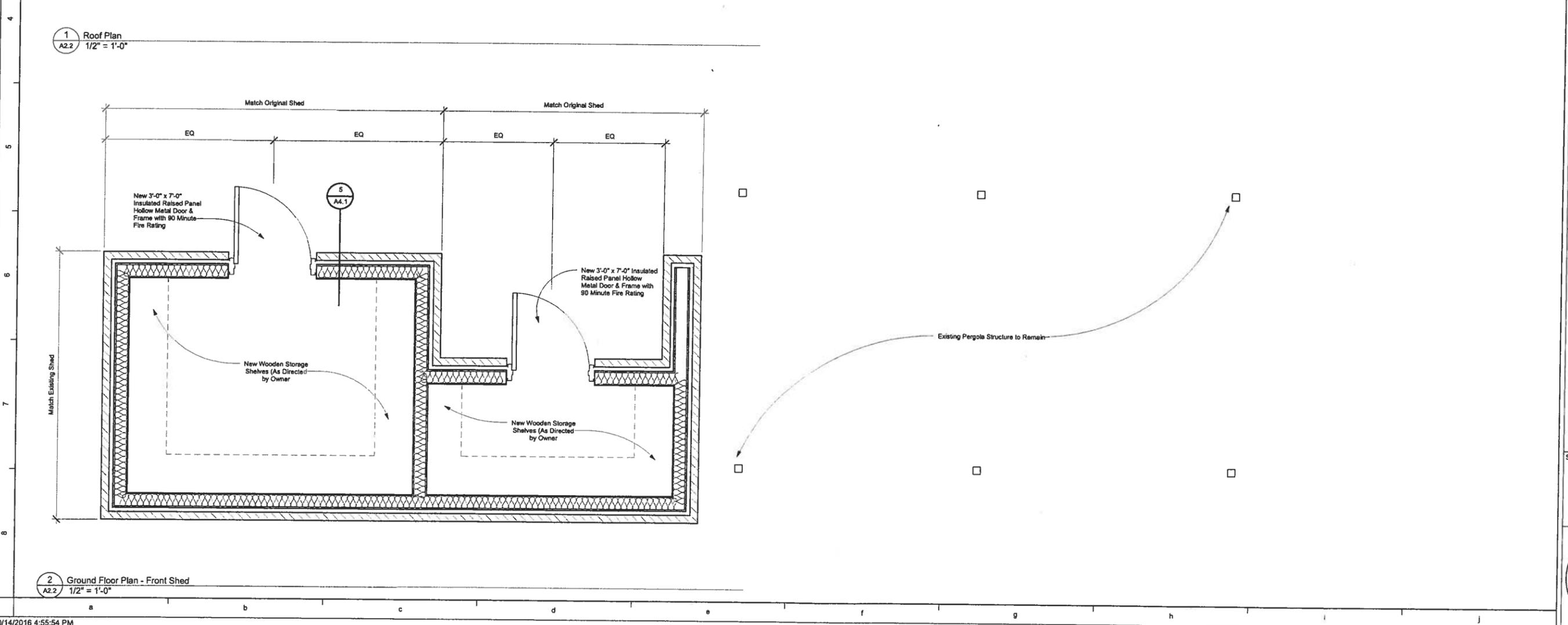
Front Shed Plan & Details

Sheet Number

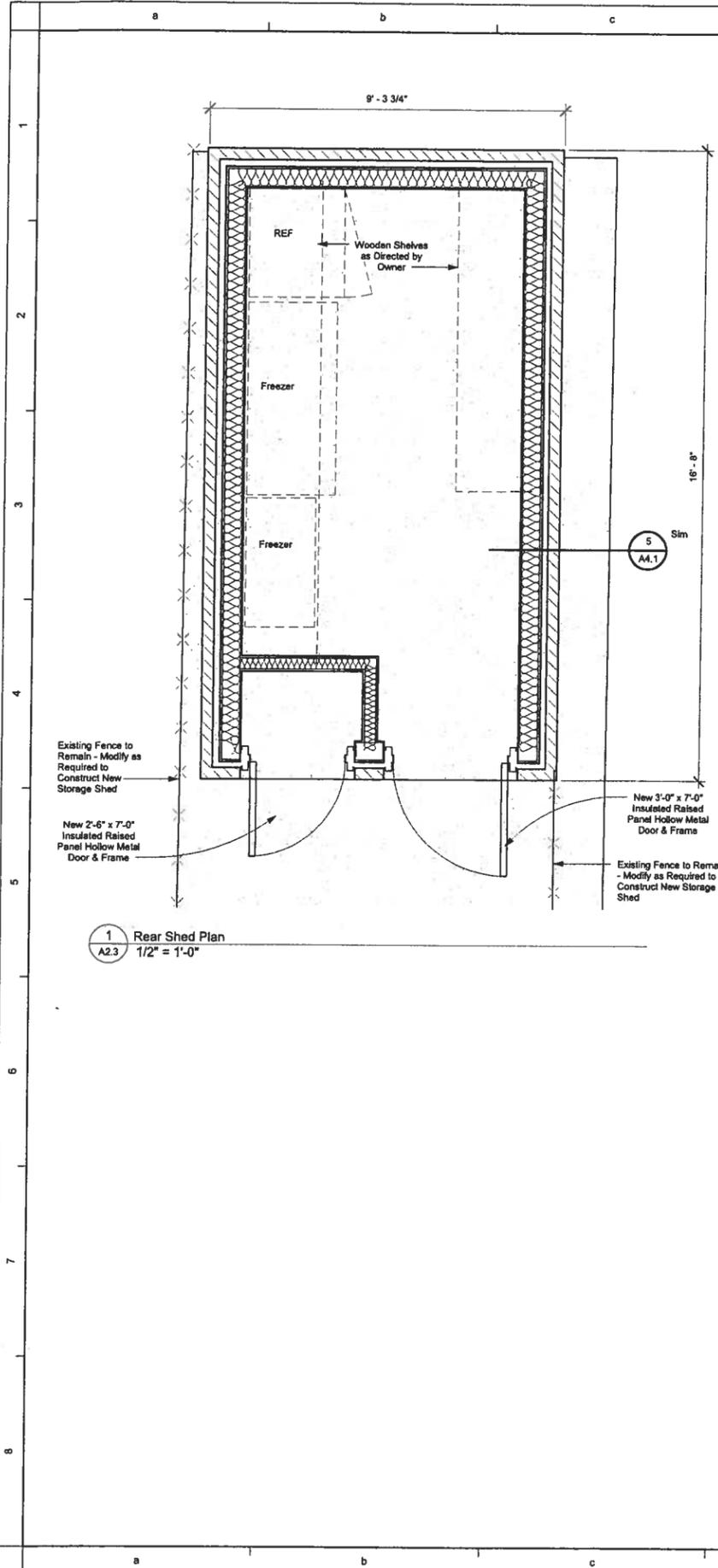
A2.2



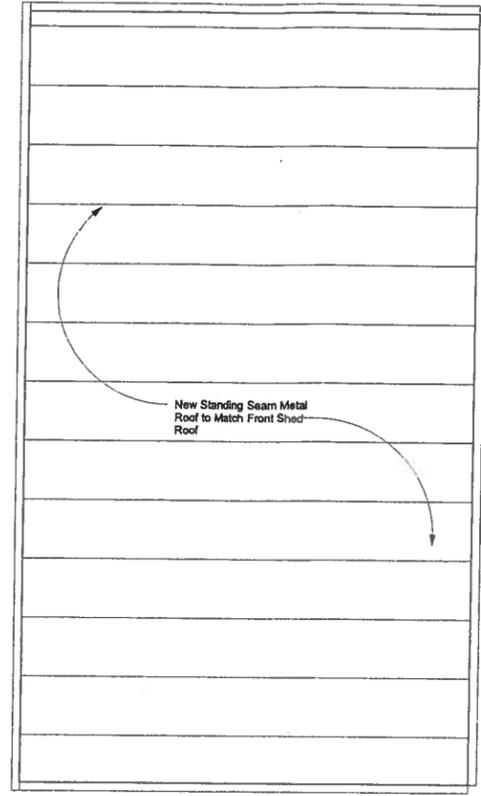
1 Roof Plan
A2.2 1/2" = 1'-0"



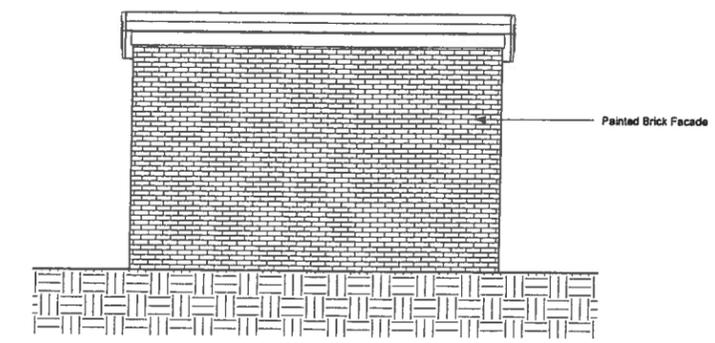
2 Ground Floor Plan - Front Shed
A2.2 1/2" = 1'-0"



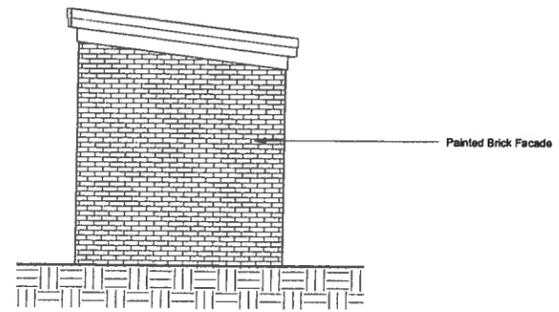
1 Rear Shed Plan
A2.3 1/2" = 1'-0"



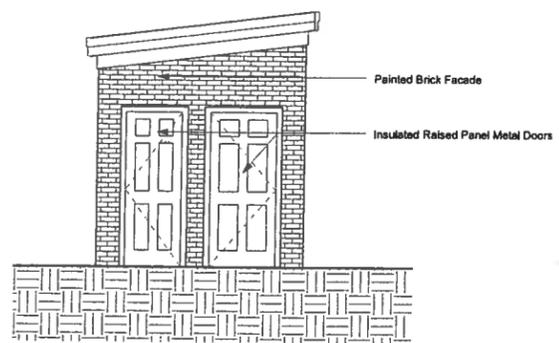
2 Rear Shed Roof Plan
A2.3 1/2" = 1'-0"



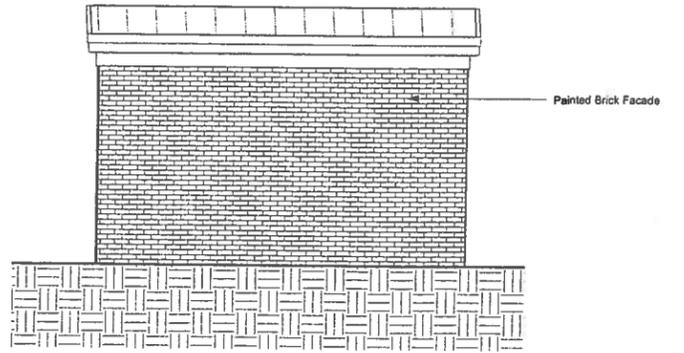
3 Rear Shed East Elevation
A2.3 1/4" = 1'-0"



4 Rear Shed North Elevation
A2.3 1/4" = 1'-0"



5 Rear Shed South Elevation
A2.3 1/4" = 1'-0"



6 Rear Shed West Elevation
A2.3 1/4" = 1'-0"

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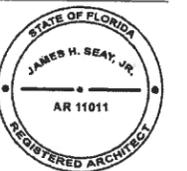
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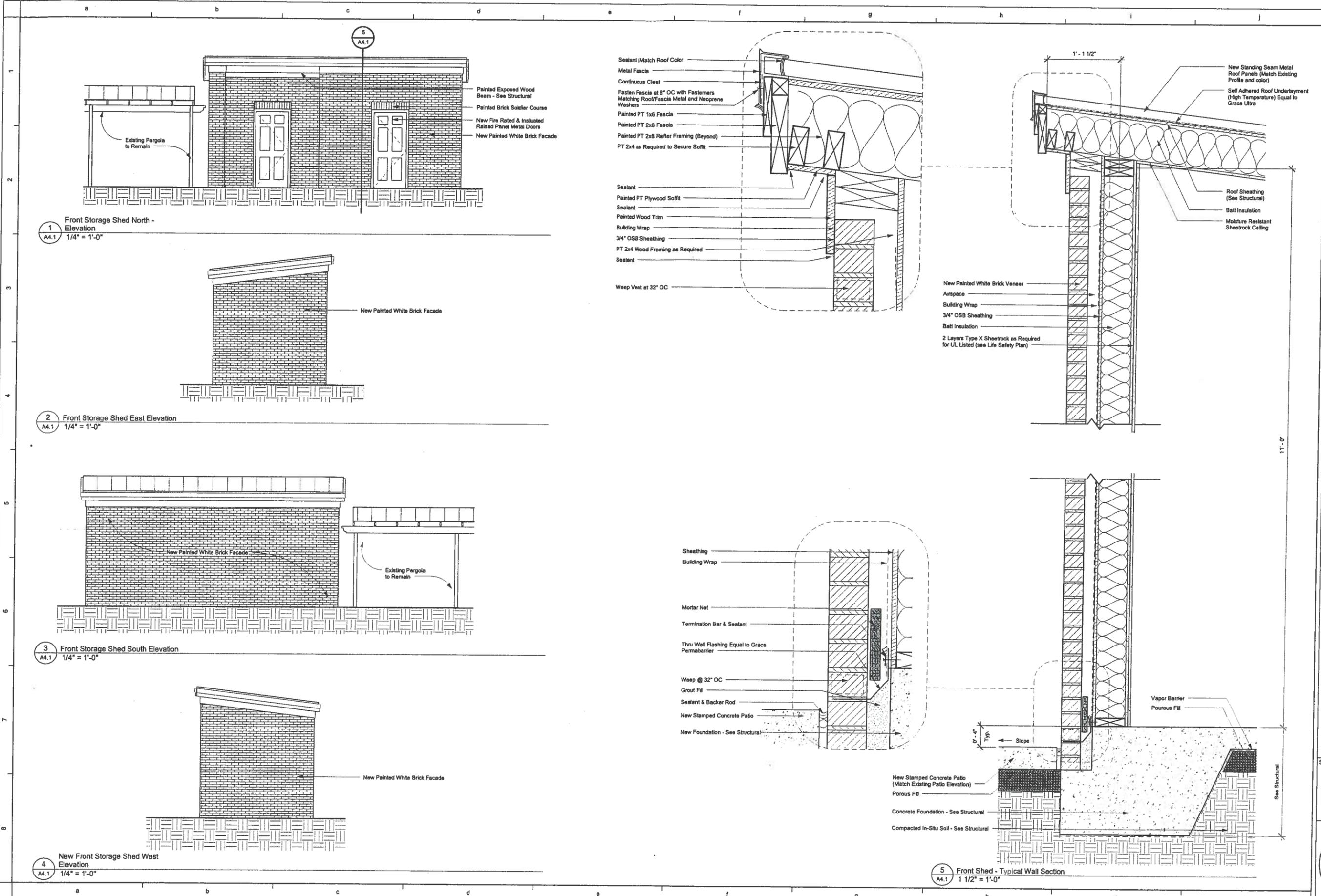
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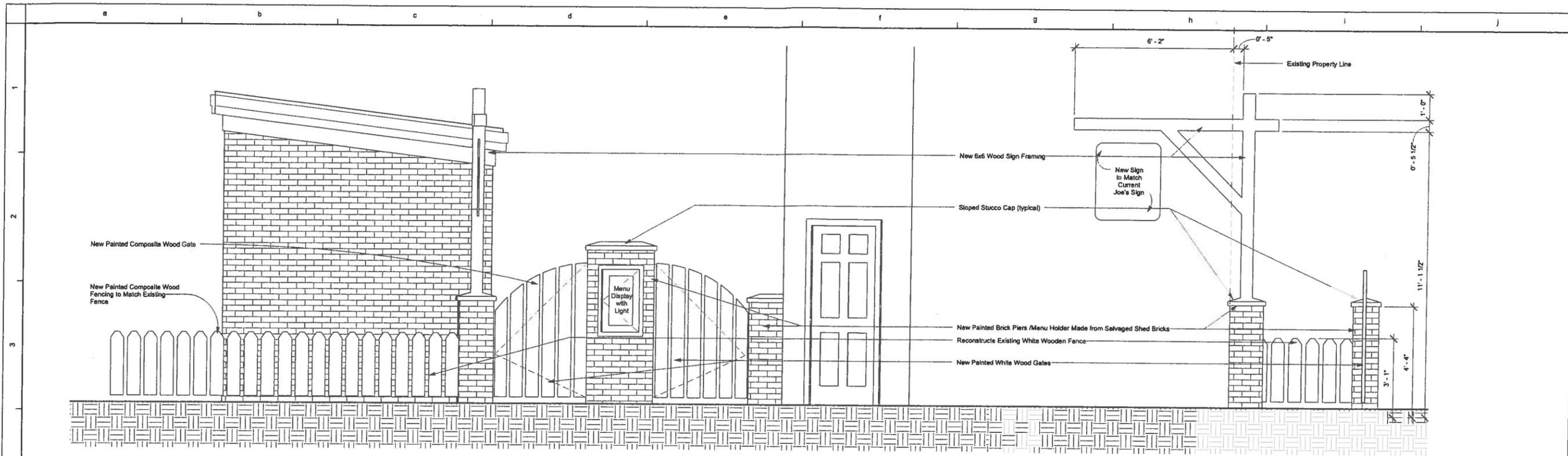
Storage Shed Reconstruction
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Sheet Title
Rear Shed Plans and
Elevations

Sheet Number
A2.3

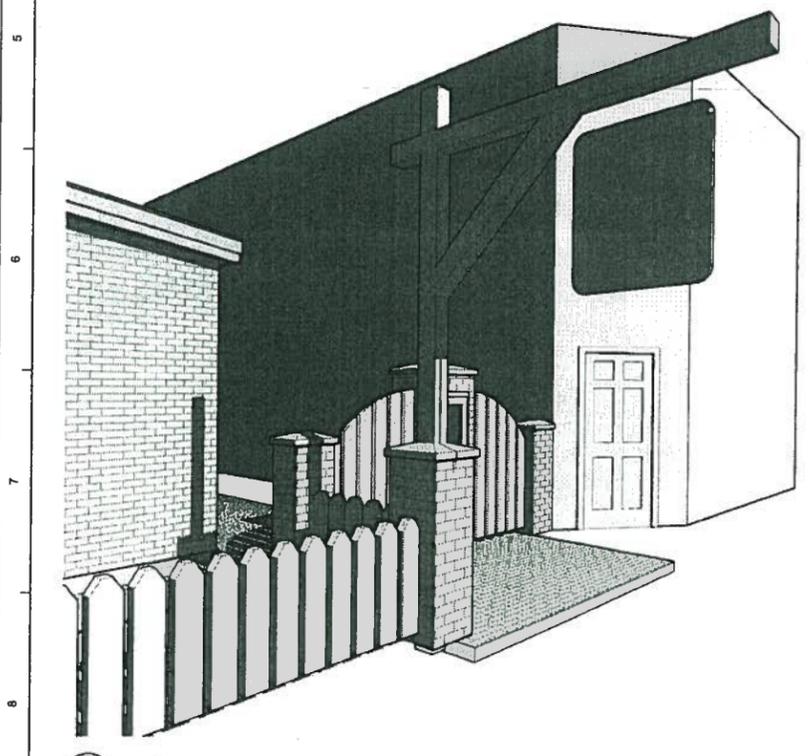




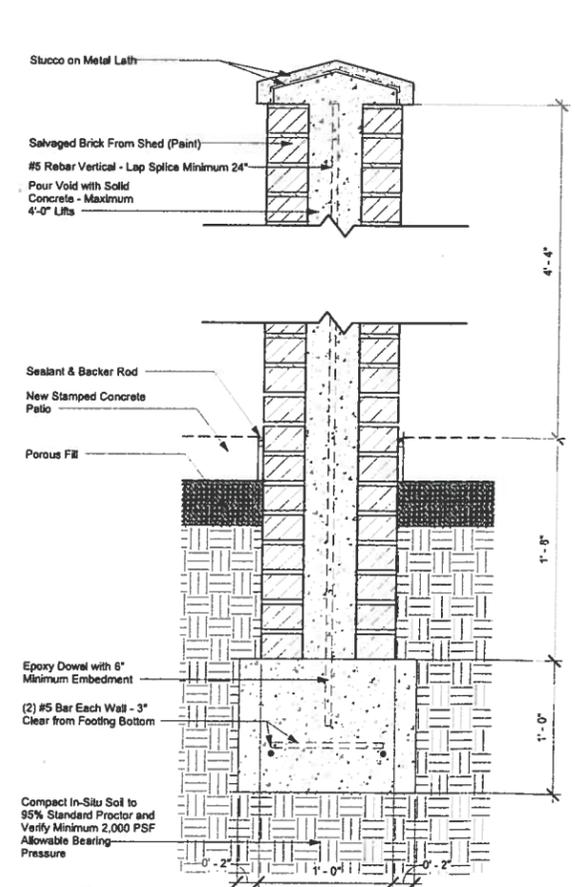


1 New Entrance Elevation
A4.3 1/2" = 1'-0"

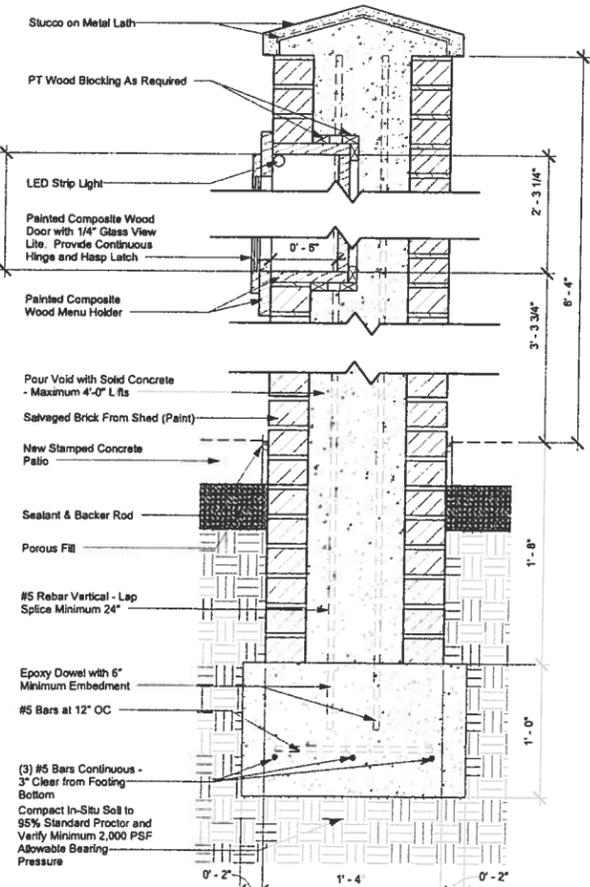
2 Section Through New Entry
A4.3 1/2" = 1'-0"



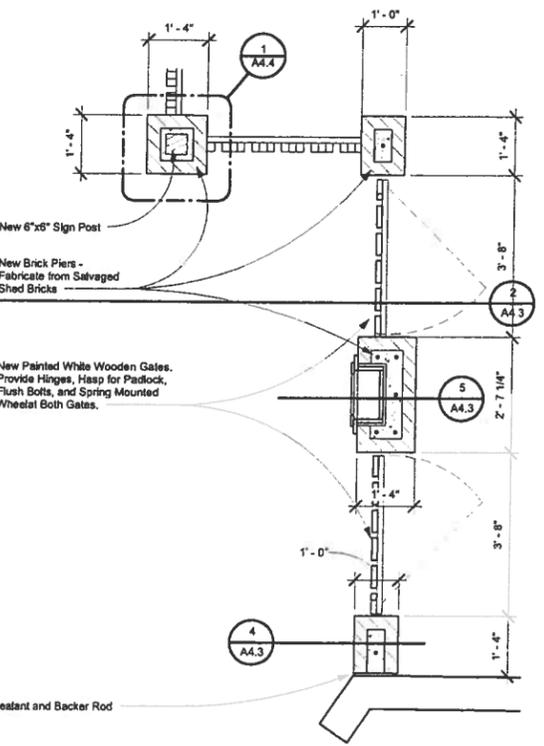
3 3D View 2
A4.3



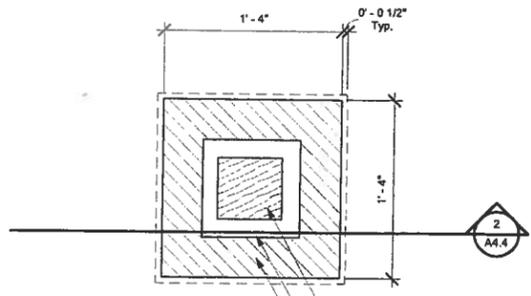
4 Section 1
A4.3 1 1/2" = 1'-0"



5 Section 2
A4.3 1 1/2" = 1'-0"

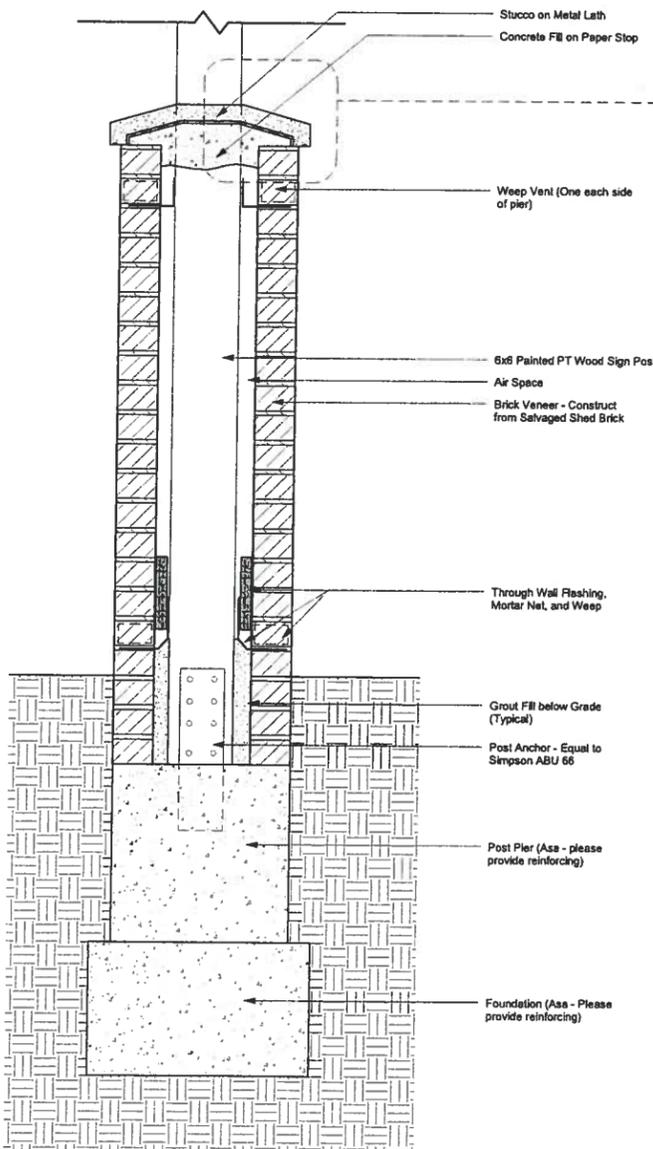


6 Callout of Site Plan
A4.3 1/2" = 1'-0"

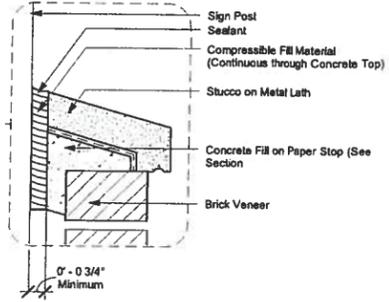


1 Enlarged Sign Post Plan
A4.4 1 1/2" = 1'-0"

- 6x6 Painted Wood Post
- Air Space
- New Brick Piers - Fabricate from Salvaged Shed Bricks



2 Sign Post Anchorage Detail
A4.4 1 1/2" = 1'-0"



3 Sign Post Detail
A4.4 3" = 1'-0"

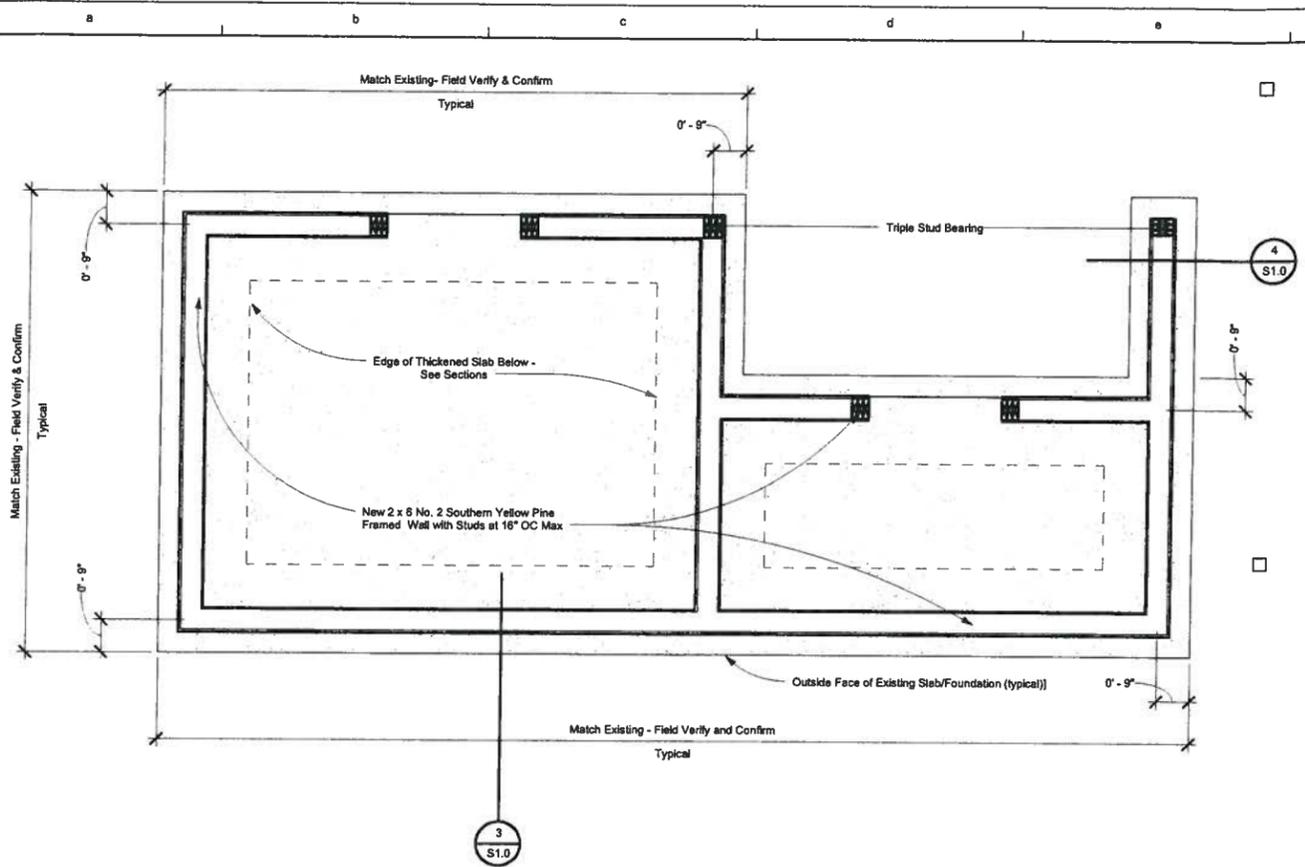
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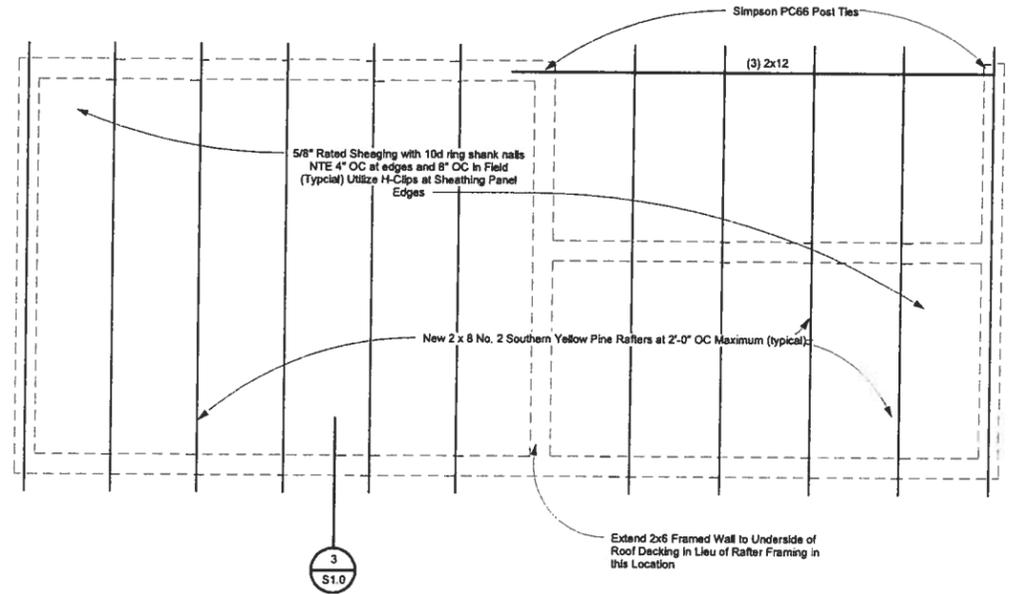
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Signage Post Details

Sheet Number
A4.4

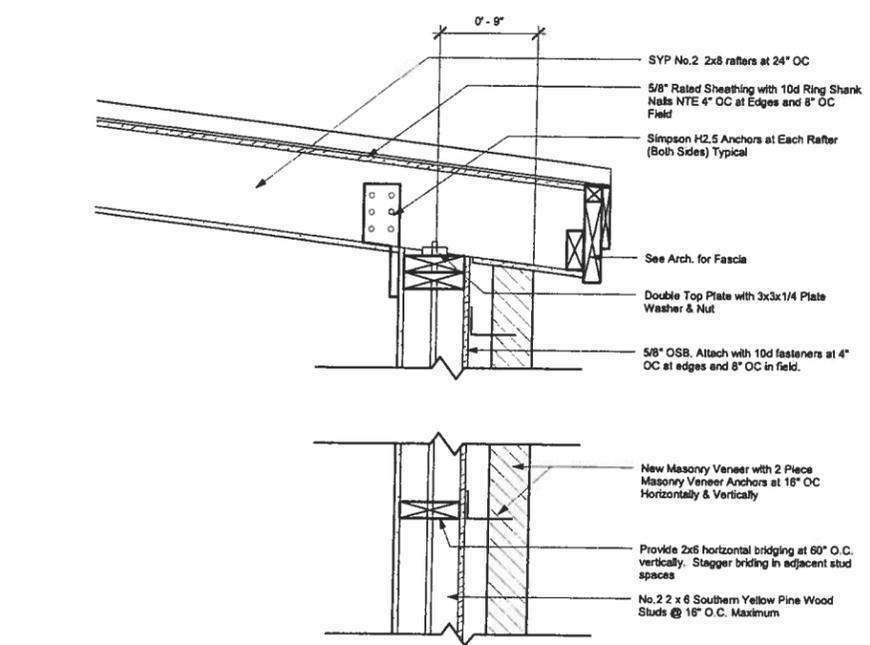




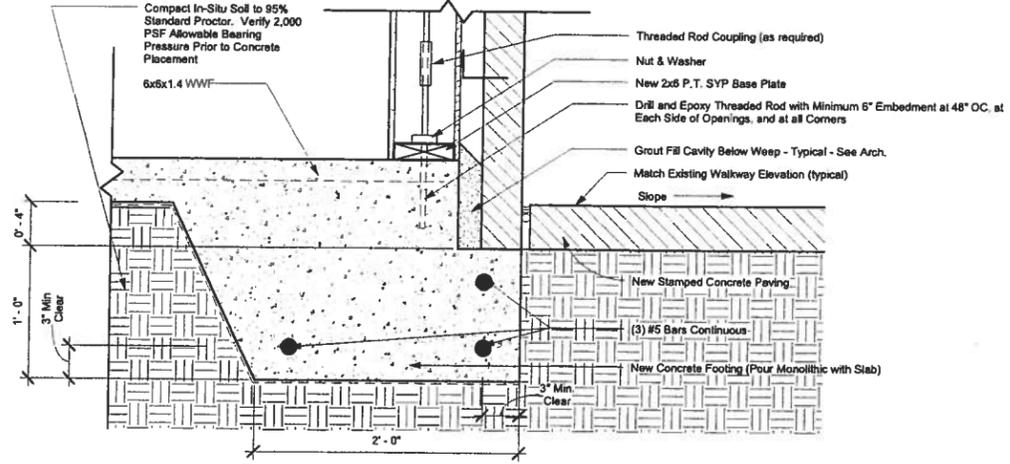
1 Front Shed Foundation Plan
S1.0 1/2" = 1'-0"



2 Front Shed Roof Framing Plan
S1.0 1/2" = 1'-0"



3 Front Shed Typical Wall Section
S1.0 1 1/2" = 1'-0"



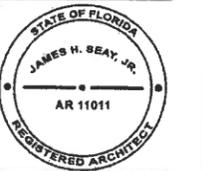
4 Foundation Detail at Wing Wall
S1.0 1 1/2" = 1'-0"

Job Number	12115.01
Date	2016/10/14
Drawn By	DCD
Checked By	JS
Revised	
Project Title	

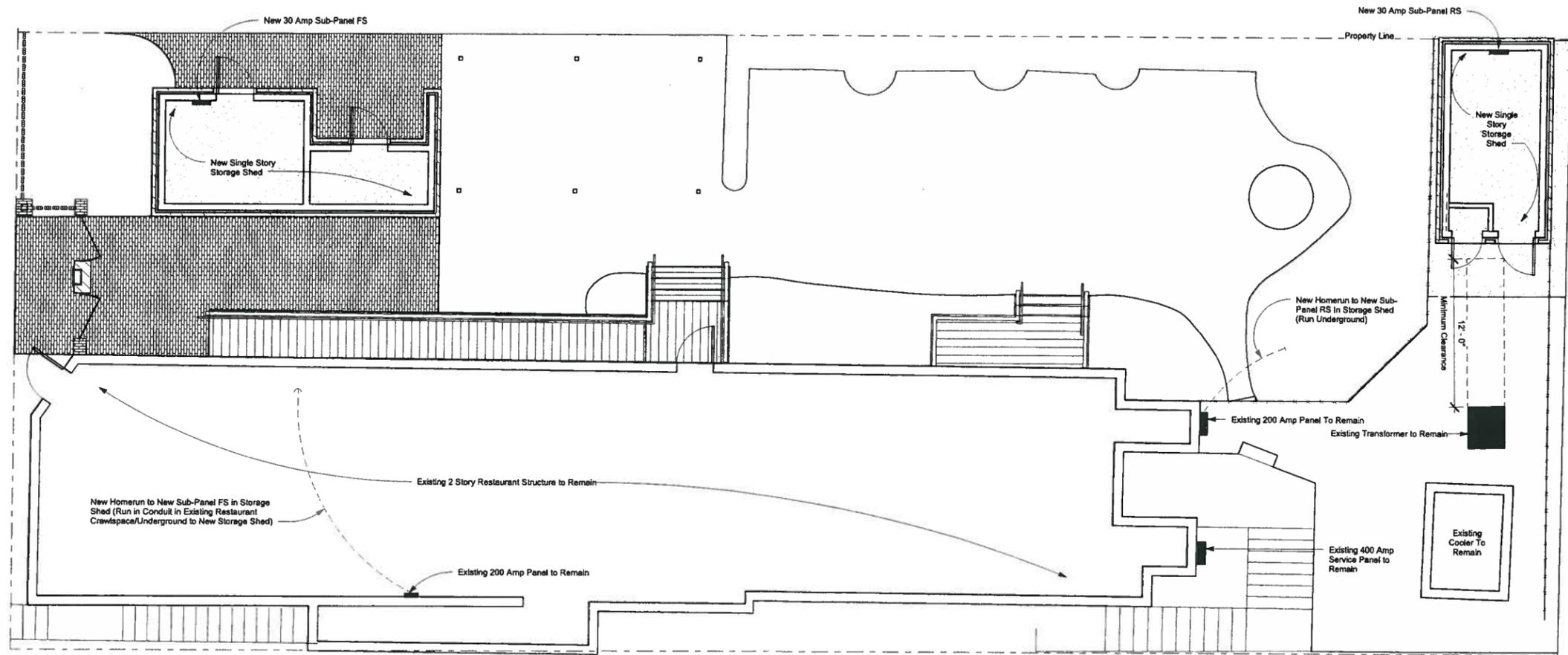
Storage Shed Reconstruction
Joe's Second Street Bistro
14 Second Street S
Fernandina Beach, FL

Front Shed Foundation
Plan, Roof Framing
Plan, and Sections

Sheet Number
S1.0



Note: Electrical Criteria Drawings are schematic and intended to indicate design intent only. General Contractor/Electrical Contractor to Field Verify all existing electrical conditions and provide electrical engineering as required to ensure compliance with Florida Building Code and 2011 NEC NAPA70 National Electrical Code.



1 Electrical Site Criteria Drawing
E0.1 3/16" = 1'-0"

S&I
Seay, Seay & Litchfield Architects

Architects & Interior Designers
1115 South Court Street
Montgomery, AL 36104
334. 263. 5162 sslarch.com

Job Number 12115.01
Date 2016/10/14
Drawn By DCD
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Revised

Project Title

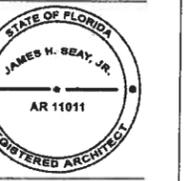
Storage Shed Reconstruction
Joe's Second Street Bistro
14 Second Street S
Fernandina Beach, FL

Sheet Title

Electrical Criteria
Drawing

Sheet Number

E0.1



Note: Electrical Criteria Drawings are schematic and intended to indicate design intent only. General Contractor/Electrical Contractor to Field Verify all existing electrical conditions and provide electrical engineering as required to ensure compliance with Florida Building Code and 2011 NEC NAPA70 National Electrical Code.

Legend:

-  Surface Mounted Strip Fluorescent Light Fixture (As Selected by Owner)
-  Recessed Mounted Compact Fluorescent Downlight (as selected by Owner)
-  110V GFI Outlet - Locate As Directed by Owner
-  110V GFI Outlet - Locate As Directed by Owner

