



AGENDA
HISTORIC DISTRICT COUNCIL
AUGUST 18, 2016
5:00 PM
CITY HALL COMMISSION CHAMBERS
204 ASH STREET
FERNANDINA BEACH, FL 32034

1. CALL TO ORDER

2. ROLL CALL/DETERMINATION OF A QUORUM

3. APPROVAL OF MINUTES

3.1. APPROVAL OF MINUTES

Approval of Minutes for the July 21, 2016 HDC regular meeting.

Documents:

[2016 07-21 HDC RM Minutes Draft.pdf](#)

4. OLD BUSINESS

4.1. BIMBI LLC C/O PARKER CONTRACTING, INC., 11 N. 3RD STREET (HDC 2015-01)

For update to Certificate of Approval (COA) for material/finish work changes made during construction that deviated from the approved COA. (*Quasi-Judicial*)

Documents:

[HDC 2015-01 St_August UPDATE_ Agenda Packet.pdf](#)

4.2. POZZI ENTERPRISES LLC, C/O JOSE MIRANDA, 302 ASH STREET (HDC 2015-15)

Final approval for new construction of a 3,225 SF 2-story mixed use building. Commercial at 1st floor and one residential unit on 2nd floor. (*Quasi-Judicial*)

Documents:

[HDC 2015-15 Agenda Packet.pdf](#)

5. NEW BUSINESS

5.1. FIRST BAPTIST CHURCH OF FERNANDINA BEACH C/O COTNER & ASSOCIATES, 19 N. 5TH STREET (HDC 2016-20)

VARIANCE from LDC sections 1.07.0 definition of "Lodging Accommodation, specifically the dis-allowance of a full kitchen in individual units. (*Quasi-Judicial*)

Documents:

[HDC 2016-20 Agenda Packet.pdf](#)

5.2. KEVIN + LAINE BERRY, C/O JOHNSON HOME BUILDERS INC., 910 SAN FERNANDO STREET (HDC 2016-21)

Enclose breezeway under roof, move two (2) exterior doors to end of breezeway and repair lap siding with same as existing material and color. (*Quasi-Judicial*)

Documents:

[HDC 2016-21_910 San Fernando_Agenda Packet.pdf](#)

6. STAFF-APPROVED CERTIFICATES OF APPROVAL

6.1. MARIO + ROSE ANN MANGANARO C/O DOMESTIC DESIGNS ROOFING, 302 CENTRE STREET (HDC SA 2016-55)

Re-roof with 30 year architecture shingles, Pristine Green.

6.2. KIM DAVIS, 505 CEDAR STREET (HDC SA 2016-56)

Install new footers and piers to existing home.

6.3. WRIGHT RUNWAY LLC C/O DOUGHERTY COMPANY, 311 CENTRE STREET (HDC SA 2016-57)

Replace existing 1st story windows and doors at rear of building with Andersen series to match existing material and color.

6.4. BRUCE MEGER, 213 N. 6TH STREET (HDC SA 2013-58)

Install 6FT wood picket fence on north side of property; will be stained natural color.

6.5. CITY OF FERNANDINA BEACH C/O CREATIVE SERVICES & FENCE, 101 N. FRONT STREET (HDC SA 2016-59)

Install 190FT of 6FT chain link fencing on frontage and south side of property.

6.6. DAVID FILLET, TRUSTEE C/O MARK MARKARIAN, 13 N. 3RD STREET (HDC SA 2016-60)

Install two (2) awnings with aluminum mill finish frame and pink fabric. Paint window and door trim with Oatlands Springkiss.

6.7. KALAMALKA PROJECT LLC C/O BOB TIDBALL, 614 ASH STREET (HDC SA 2016-61)

Replace existing wood steps with brick.

6.8. NANCY ROSSITER, 214 S. 7TH STREET (HDC SA 2016-62)

Replace and repair 10' x 20' area of roof shingles, same as existing.

7. PUBLIC COMMENT - ITEMS NOT ON THE AGENDA

8. BOARD BUSINESS

8.1. REAPPOINTMENT - ROBERT ERICKSON

9. STAFF REPORT

10. ADJOURNMENT

NEXT SCHEDULED HDC REGULAR MEETING IS SEPTEMBER 15, 2016

Quasi-Judicial – Denotes that the item must be conducted as a Quasi-Judicial hearing in accordance with City Commission established procedure and Florida Statutes.

All members of the public are invited to be present and be heard. Persons with disabilities requiring accommodations in order to participate in this program or activity should contact the City Clerk at (904) 310-3115 or TTY/TDD 711 (for the hearing or

speech impaired).

All interested parties may appear at said meeting and be heard as to the advisability of any action, which may be considered with respect to such matter. For information regarding this matter, please contact the Community Development Department (904) 310-3135. If any person decides to appeal any decision made by the Historic District Council with respect to any matter considered at such meeting he/she will need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be made.

1. **Call to Order** –The meeting was called to order at 5:02 pm.

2. **Roll Call/Determination of Quorum**

Council Members Present

George Sheffield, Vice-Chair
Angela Conway (Alternate)

Robert Erickson
William Tilson (Alternate)

Council Members Absent

Michael Harrison, Chair
Shelly Rawls

Jennifer King-Cascone

Others Present

Tammi Bach, City Attorney
Salvatore J. Cumella, City Planner
Sylvie McCann, Recording Secretary

Member Conway and Member Tilson were seated as voting members for this meeting. There were no ex parte communications to be disclosed by the board members. City Attorney Bach briefly explained the quasi-judicial procedures. Recording Secretary McCann administered the oath to those parties that were about to present testimony.

3. **Approval of Minutes** – According to the agenda support documents, the Minutes for the June 16, 2016 Regular Meeting were presented for approval. Member Tilson corrected the Minutes under item 8.1 to reflect that he had made comments about laser scanning not Member Erickson. **A motion was made by Member Conway, seconded by Member Tilson, to approve the Minutes as corrected. Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.**

4. **Old Business**

4.1. **MANUELA MARIA CATON C/O GREG POWER, 714 SAN FERNANDO STREET (HDC 2012-30)** For changes in paint color that deviated from original approved COA. (*Quasi-Judicial*)

Mr. Cumella explained this was an update to a previously approved Certificate of Appropriateness (COA) to approve a change of color to Valspar Golden Haze. He corrected the staff report to reflect this was a non-contributing structure in Old Town. He stated during the renovation some changes were made that deviated from the COA, and the applicant requested approval to update HDC 2012-30 for exterior paint colors on the home. He pointed out the chosen color Golden Haze was not a historically appropriate color for a 1900 home, and on June 29, 2016 staff issued a letter to Mr. Power explaining three options to resolve this (paint the house in a previously approved color palette, paint the house in one of the approved National Trust for Historic Preservation colors, or petition the HDC to approve the existing color). He commented paint was one of the temporary and reversible things that can be done to a historic home, and recommended approval of HDC 2012-30. He presented color samples and pictures of the structure.

Member Erickson inquired if staff knew how many non-contributing structures are in Old Town. Mr. Cumella replied the contributing list from 1985 lists 19 structures as contributing so everything else would be non-contributing. Vice-Chair Sheffield inquired when the paint was completed. Mr. Cumella replied it was recent, and explained the renovation was still going on at the property.

Mr. Greg Power, 913 White Street, stated the property was painted in 2012 and the project had stopped, because the owners ran out of money. He explained the owners had asked to paint it the same color as his property, and it was an oversight on his part for not filling out the proper paperwork. He pointed out he was bringing this forward

to clean up the open permits for this property, and to be able to continue with the project. Vice-Chair Sheffield inquired when they anticipated being done with the project. Mr. Power replied it depends on the budget, because the owners are working out of pocket. He stated the permits expired because they sat and now they were trying to get them going again. He commented his hope was for them to be in by Christmas. Member Erickson inquired when Mr. Power's house was painted. Mr. Power replied before he bought it in 2006. Member Erickson questioned staff if this color came through today would staff approve it. Mr. Cumella replied knowing it was a non-contributing structure staff would approve it.

The public hearing was opened at this time and there being no comments from the floor the public hearing was closed. There was a brief discussion about the paint color and that the board has not had this issue in the past. It was pointed out in 2011 the HDC came up with a standard for color, which was the National Trust for Historic Preservation designated colors. Mr. Cumella explained that staff doesn't want to limit anyone to just one brand of paint so other colors are looked at. Vice-Chair Sheffield questioned the additional \$400.00 fee that was mentioned that could be waived. Mr. Cumella clarified that was the after-the-fact fee for when work was done contrary to the approved COA there is generally a double fee. He stated in this case in the interest of moving this project along staff decided to waive that \$400.00 fee. **A motion was made by Member Tilson, seconded by Member Erickson, to approve staff recommendations for HDC 2012-30 for the color that has been presented; and that the HDC make the following the findings of fact and conclusions of law part of the record that HDC 2012-30 as presented is substantially compliant with the Land Development Code, the Downtown Historic District Guidelines, and the Secretary of Interior Standards to warrant approval at this time. Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.**

4.2. BIMBI LLC C/O PARKER CONTRACTING, INC., 11 N. 3RD STREET (HDC 2015-01) For changes made during construction which deviated from original COA including fences on south elevation or rear roof to screen mechanical and work areas. (Quasi-Judicial)

Mr. Cumella pointed out this case was in two parts and would need separate votes for two separate actions. He stated the first part was an update for the material finish changes made during construction that deviated from the approved COA and the second part was the addition of fences on the roof and rear portion of the south elevation to screen mechanical areas. He explained this was a non-contributing commercial structure, and during construction the design was altered to replace the wood store front elements with stucco. He commented there was a change to the predominant materials and the façade had less detail. He provided further details from the staff report outlining the deviations from the original COA. He explained staff found the inconsistency between the approved plans and what was constructed was not compatible with the historic character of the structure and the surrounding properties in the downtown historic district. He recommended denial of part 1 of the request. He pointed out the HDC could approve the changes made that varied from the previously approved COA; the HDC could deny approval of the changes and request that the work be redone to comply with the originally approved plans pursuant to LDC Section 8.03.03(I); or continue HDC 2015-01 to the August meeting to allow the applicant time to provide a plan of how they would remediate the project to better comply with the previously approved plan. He explained the second part was the approval to construct fencing at the southwest corner of the property and the rooftop. He stated the applicant requests to construct a 6 foot wood fence on the west side of the south elevation as a way to screen the trash and utility area from public view. He further explained the applicant requests to construct a 4 foot wooden fence along the southern and western edge of the rooftop to screen the rooftop HVAC units. He stated all fences would be painted the same color as the body of the building. He reported the requested action was consistent and recommended approval of part 2. He provided further information from the agenda support documents with regard to this case.

Vice-Chair Sheffield inquired if there was any dialogue between the applicant or their contractor with City staff during this process when these changes were modified. Mr. Cumella replied not that he was aware of. He pointed out staff waived the \$400.00 after-the-fact fee to move this along. He explained even though this is a

non-contributing structure it has to fit in with the traditional buildings, but it isn't held to the same standards as contributing structures would be. He commented staff felt there was an opportunity to do something in between what was done and what was proposed. He pointed out the wood storefront is a very expensive façade for a building.

Mr. Dylan Parker, Parker Contracting, stated the storefront changed from the original design and he had talked with staff. He commented it was during the time Ms. Burke was leaving and Mr. Platt was filling in. He pointed out a lot of these changes would be staff approval if it wasn't approved by the HDC previously. He explained they did change from the wood façade, because it was a very expensive façade. He stated they wanted to fit in with the neighbors and the Gentry building right next door was all stucco. He commented there are other stucco storefront façades that are similar downtown. He requested the HDC's consideration of approving what was done. He referred to the removal of the transom windows above the doors and explained the original architectural drawings listed a 9 foot door. He stated the ceiling height inside the lower part of that building was at 8 feet so they had to eliminate the transom window above, because it was not physically possible without removing the entire interior roof system. Member Erickson questioned if the transom windows could be installed and blacked out. Mr. Parker replied they could, but it would not conform with the window that was below it that you could see right through. There was some discussion about the changes made to this structure, and Mr. Parker argued that the project changed from wood to stucco and that stucco was still a historically approved product. Mr. Parker expressed his opinion the changes were consistent with the downtown historic district guidelines. Member Erickson pointed out the HDC approved what was presented, and you can't significantly change it. Mr. Parker inquired about a solution for this case besides putting fake transom windows above existing windows. Member Erickson suggested working with City staff and finding a happy medium. There was further discussion about this particular case and what would be the best way to proceed. Members discussed the option of looking at the original design to find simple ways to make the façade have more detail, and bring it back to the HDC to review those changes. **A motion was made by Member Conway, seconded by Member Erickson, to continue HDC 2015-01 to the August HDC meeting to allow the applicant an opportunity to provide a plan and detailed drawings of how they would remediate the project to better comply with the previously approved plan and work with staff on that. Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.**

Mr. Parker referred to part 2 and explained the design in the back was not practical for a restaurant. He stated this request was to close off where the trash cans are. He commented Mr. Platt mentioned that there have been complaints about HVAC units visible from the street, and suggested doing something to cover those up. He explained his idea was to use the same fencing on top and stated that part of the project was put on hold until this meeting. Vice-Chair Sheffield inquired if there was a drawing. Mr. Parker explained staff had recommended dog eared fence paneling that was readily available and it would be painted to match the building. After a brief discussion about this, **a motion was made by Member Erickson, seconded by Member Conway, to approve HDC 2015-01 part 2; and that the HDC make the following the findings of fact and conclusions of law part of the record that HDC 2015-01 part 2 as presented is substantially compliant with the Land Development Code, the Downtown Historic District Guidelines, and the Secretary of Interior Standards to warrant approval at this time. Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.**

5. NEW BUSINESS

5.1. PHILIP + BETTY RAE PIERCE C/O MICHAEL RICHARDSON, 221 N. 6TH STREET (HDC 2016-19) New construction of an accessory structure consisting of a 10' x 10' workshop and a 10' x 22' carport. *(Quasi-Judicial)*

Mr. Cumella explained the applicant was seeking approval to construct an accessory structure that would function as a carport/workshop. He stated the workshop portion would be 10 by 10 and the carport would be attached to the front of the workshop measuring 10 by 22. He pointed out the proposed structure would match the primary structure in both materials and color; and it would be situated to the north of the primary structure where there currently is a driveway. He reported the proposed structure meets all setbacks, height, and size requirements set forth in the LDC. He recommended approval of the request and presented photographs of the existing structure and elevations of the proposed accessory structure. The primary structure was built in 2013.

Mr. Mike Richardson, architect, reported the owners sold their second home and would be moving here permanently. He stated the owners want to have a garage and a workshop. He pointed out the accessory structure would match the roof pitch, materials, and colors. Vice-Chair Sheffield questioned where the structure would be in relation to the house. Mr. Richardson replied it would be to 3 feet to the rear property line and 3 feet to the side. He pointed out there was a fence on both sides.

The public hearing was opened at this time and there being no comments from the floor the public hearing was closed. **A motion was made by Member Tilson, seconded by Member Conway, to approve HDC 2016-19; and that the HDC make the following the findings of fact and conclusions of law part of the record that HDC 2016-19 as presented is substantially compliant with the Land Development Code, the Downtown Historic District Guidelines, and the Secretary of Interior Standards to warrant approval at this time. Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.**

6. Staff-Approved Certificates of Approval

6.1. LOUIS + SUSAN GOLDMAN, LOT 5, N. FRONT STREET (HDC SA 2016-33) Install 55 FT of opaque chain link fence on frontage of parcel.

6.2. DAVID + JULIE JONES, 106 S. 7TH STREET (HDC SA 2016-47) Replace wood siding and trim where needed with matching cedar siding & trim. Color to match existing.

6.3. KEVIN + LAINE BERRY, 910 SAN FERNANDO STREET (HDC SA 2016-48) Repaint exterior structure with the following:

- Exterior - Cincinnati Hotel Olivia
- Trim - Woodlawn Dewkist
- Porch Ceiling - Woodlawn Blue Angel

6.4. KIMBERLY PAGE C/O PARKER CONTRACTING, INC., 329 S. 6TH STREET (HDC SA 2016-49) Install 6FT privacy fence on side and rear yard with 4FT section within 25FT of front property line. Fence to be painted or stained to match structure. Concrete driveway to connect to existing slab in rear yard.

6.5. CITY OF FERNANDINA BEACH C/O LEONARD MCANENY, 1 S. FRONT STREET (HDC SA 2016-50) For the following:

1. Repair and/or replace rotten fascia as needed with treated wood
2. Replace wood railing with same on south side
3. Paint exterior structure with the following:
 - trim - Homestead Resort Sky Blue
 - Body - Woodlawn Silver Brook
 - Trim - Mark Twain House Ombra Gray

6.6. STARK BUILDING/TUTELA C/O FASTSIGNS, 101 S. 2ND STREET (HDC SA 2016-51) Relocate existing 36" x 18" projecting sign (approved HDC SA 2012-87) to side of building.

6.7. MARIO MANGANARO/CIAO C/O THE DESIGN + BUILD GROUP, 302 CENTRE STREET (HDC SA 2016-52) Replace 3 windows with Andersen A Series windows to match existing color, same footprint.

6.8. RITA TAYLOR CATRON, 401 S. 6TH STREET (HDC SA 2016-53) Replace metal roll up garage door, painted Woodlawn Dewkist.

6.9. KEVIN + LAINE BERRY, 910 SAN FERNANDO STREET (HDC SA 2016-54) Replace roof with classic rib natural finish metal roof.

There were no questions or concerns regarding the staff approved Certificates of Approval.

7. Public Comment - Items Not on the Agenda – There were no public comments on items not on the agenda.

8. Board Business – Member Tilson pointed out the State of Florida was celebrating its 50th formal anniversary of preservation this year, and commented the museum would be doing several events. He referred to a previous meeting discussion and noted staff was considering a grant application for doing laser scanning of important buildings. He inquired if there were any public workshops being considered in the near future to help the public understand. Mr. Cumella stated he was working on that, and explained he would like to have a series of workshops. He commented it was important to document our buildings.

9. Staff Report

9.1. FL Department of Historical Resources Small Matching Grant Update – Mr. Cumella reported he went to Tallahassee last week and the City received a \$40,000 grant for the 2017/2018 resurvey of the entire historic district. He pointed out with the resurvey the City would get GIS data that could be used easily and shared with citizens online. He stated the survey would also look at all the resources that during the last two surveys weren't 50 years old, but now were 50 years old. He reported this would probably start July 2017.

City Attorney Bach pointed out the end of the staff report contains a section for motions to consider, and this is a helpful tool for the quasi-judicial boards to formulate a motion. She explained the board needs to make findings of fact during the hearing, but the first part can be changed to include conditions discussed during the meeting. She welcomed the new members and pointed out she was available for questions regarding Sunshine Law, public records, the HDC's role, and any of the other boards that she serves.

10. Adjournment - There being no further business to come before the Historic District Council, the meeting was adjourned 6:05 pm.

Sylvie McCann, Clerk

Michael Harrison, Chair



HISTORIC DISTRICT COUNCIL STAFF REPORT
HDC 2015-01(Update)
August 18, 2016

Owner/Applicant:

Requested action:

Current zoning:

FLUM land use category:

Existing uses on the site:

Historic Property Survey 2007:

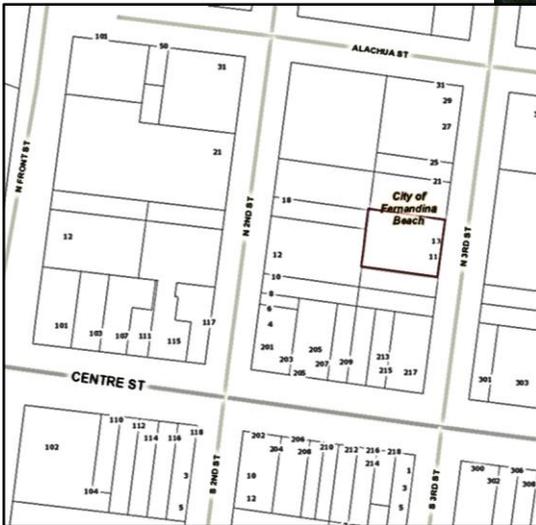
Historic Property Survey 1985:

Adjacent Properties:

Dylan Parker for Bimbi LLC				
Update to Certificate of Approval (COA) for material/finish changes made during construction that deviate from the approved COA; and				
C-3				
Central Business District				
Commercial				
c.1935, masonry vernacular, non-contributing				
Non-contributing (no date)				
North	Commercial	c.1939	C-3	CBD
South	Commercial	c.1911	C-3	CBD
East	Parking	N/A	C-3	CBD
West	Commercial	c.1878	C-3	CBD

Past COA:

All required application materials have been received. All fees have been paid. All required notices have been made.



SUMMARY OF REQUEST AND BACKGROUND INFORMATION:

During the renovations to the building, changes were made that deviate from the COA that was approved on February 19th of 2015. Applicant appeared before the HDC at the July 21, 2016 meeting requesting approval of an update to HDC 2015-01 for these changes as well as approval to construct fencing to screen mechanical systems on the roof and work area at the rear portion of the south elevation.

The HDC voted unanimously to continue this case until the August 1, 2016 HDC meeting in order to allow the applicant time to work with the owner and staff in creating a plan to remediate the project with the goal of having it more closely match the originally proposed design and better conform to the Design Guidelines with respect to form, detail, and quality.

The applicant has submitted a plan to add more detail to the façade of the building by trimming out the signband, column, and areas above and below the storefront windows and doors.

APPLICABLE GUIDELINES:

Section 8.03.03(I) and Section 8.03.03(J) of the Code states:

I. All work performed pursuant to the issuance of a Certificate of Approval shall conform to the requirements of the certificate.

1. It shall be the duty of the City to inspect any work performed pursuant to the certificate, in order to ensure its compliance.

2. If work is not performed in accordance with the Certificate of Approval, the City may issue a stop work order so that all work shall cease, or may take such other action as it deems appropriate. No person shall undertake any work on such project as long as such stop work order shall continue in effect.

3. All work not in compliance may be required to be removed, regardless of hardship to the owner.

J. Any change in the scope of work subsequent to the issuance of a Certificate of Approval shall require a new Certificate of Approval for the changes. Applications for approval of such changes shall be in compliance with all procedures as outlined in this section.

Section 8.01.01.01 Historic District Overlays

C. In addition to standards applicable to the underlying zoning district, new construction within the Historic District Overlay shall be compatible with the existing character of the landmark or the district. Compatible design means architectural design and construction that will fit harmoniously into the district or the landmark site. New construction shall be compatible in scale, materials, and quality of construction with adjacent buildings and structures that have been designated.

D. The following features shall be considered by the Historic District Council in the evaluation of proposed new construction, as such features comply with the guidelines referenced in Section 8.01.01.01(A) and (B) above:

1. Scale, including height and width;
2. Setbacks;
3. Orientation and site coverage;
4. Alignment, rhythm, and spacing of buildings;
- 5. Form and detail, considering the link between old and new buildings;**
- 6. Maintaining materials within the district or on the landmark site;**
- 7. Maintaining quality within the district or on the landmark site;**
8. Facade proportions and **window patterns;**
9. Entrances and porch projections;
10. Roof forms; and
11. Horizontal, vertical, or non-directional emphasis.

ANALYSIS:

The design and material changes that were made during the rehabilitation of this structure are substantially different from those presented and approved on February 19th of 2015 (HDC 2015-01).

Those changes include:

1. Changing the predominant materials used on the principal façade from wood to stucco. The one-part commercial block façade with display windows that was presented in elevation drawings and example photos was not completed. Instead a façade with less detail was created using stucco;
2. The wood storefront windows with divided-light transoms presented and approved were not installed. They were replaced with single-light vinyl storefront windows;
3. Decorative wood paneling above and below the storefront windows on the front façade were eliminated and replaced with a stucco façade;
4. The signband at the uppermost portion of the building was constructed without the proposed picture frame surround, and no sign was installed on the building as proposed and approved. Instead a projecting sign was installed on the southeast corner of the façade;
5. Tongue and groove wood siding that was proposed to cover recessed entry walls and ceiling was only applied to the ceiling. The entry walls were finished in stucco.
6. Paint colors used on the building were not the proposed/approved color palette:
 - a. Mark Twain Grey Brick – Storefront wood doors, wood windows, signband.
 - b. Woodrow Wilson Putty (white) – Stucco on south and west elevations.
 - c. Minwax Wood Finish Cherry 235 – Tongue and groove wood siding on ceiling and walls of recessed entry.

Front elevation was finished in white painted stucco with trim in a shade of light blue.

Staff found that the inconsistencies between the proposed/approved plans (HDC 2015-01) and what was constructed are not compatible with the historic character of the structure and the surrounding properties in the Downtown Historic District. The changes made to the building lack the level of architectural detail and quality of materials that are a defining feature of the Downtown Historic District. Architectural details help define the individual building styles and contribute to the overall district character.

At the July 21, 2016 HDC meeting, the board considered the following three options to resolve this matter:

1. Approve the changes that were made that vary from the previously approved COA.
2. Deny approval of the changes and request that the work be re-done to comply with the originally proposed and approved plans (pursuant to Land Development Code Section 8.03.03(l)).
3. Continue HDC-2015-01 (Update) to the August Historic District Council meeting to allow the applicant the opportunity to provide a plan and detailed drawings of how they will remediate the project to better comply with the previously approved plan. Options may include adding back features that were originally presented such as continuing the tongue and groove wood siding down the entrance wall and adding the wall sign. Other options to make the project better reference the architecture of the historic district may include: altering the existing windows to add muntins/mullions to give it the appearance of a transom, trimming out the bulkhead below the windows and the area above the windows and doors to better reference the traditional store front design. Recognizing that an all wood storefront is very costly and that this is a non-contributing structure, there exists an opportunity for creativity in both design and materials in achieving a modern storefront that still reflects the architectural styles, detailing and quality, present in the historic district.

The Board voted unanimously to continue HDC 2015-01 to the August HDC meeting in an effort to allow the applicant time to work with the owner and staff to create a remediation plan for the façade.

The applicant has submitted a plan to add more detail to the façade of the building by trimming out the signband, column, and areas above and below the storefront windows and doors. The applicant has indicated that this trim

detailing can be done in stucco or wood and staff has advised that wood would be more appropriate. Staff has also recommended that the current stucco trim around the windows and doors be boxed in with wood to create cohesiveness to the project. The new detailing will be painted in the shades of white and blue that currently exist on the building. The applicant has provided photos of a property located at 110 Centre Street to serve as an inspiration for the look that they will try to achieve in detailing.

Staff concludes the requested action would bring this project into compliance with the Downtown Historic District Guidelines and recommends **APPROVAL** of HDC 2015-01 with the condition that the trim work be completed in wood.

MOTION TO CONSIDER:

I move to **approve, deny, or continue** HDC case number 2015-01(Update);

AND I move that the HDC make the following findings of fact and conclusions of law part of the record:

That HDC case 2015-01(Update), as presented, **is or is not** substantially compliant with the Land Development Code, the Downtown Historic District Guidelines, and the Secretary of the Interior’s Standards to warrant approval at this time.

Salvatore J. Cumella
Planner II

LIST OF EXHIBITS

- EXHIBIT 1** **Proposed Storefront Submitted/Approved in Original Application**
- EXHIBIT 2** **Photos of Project as Built**
- EXHIBIT 3** **Photos of Inspiration Building Located at 110 Centre St.**
- EXHIBIT 4** **Photos with Sketch of Locations Trim will be Added**

EXHIBIT 1

Proposed Storefront Submitted/Approved in Original Application

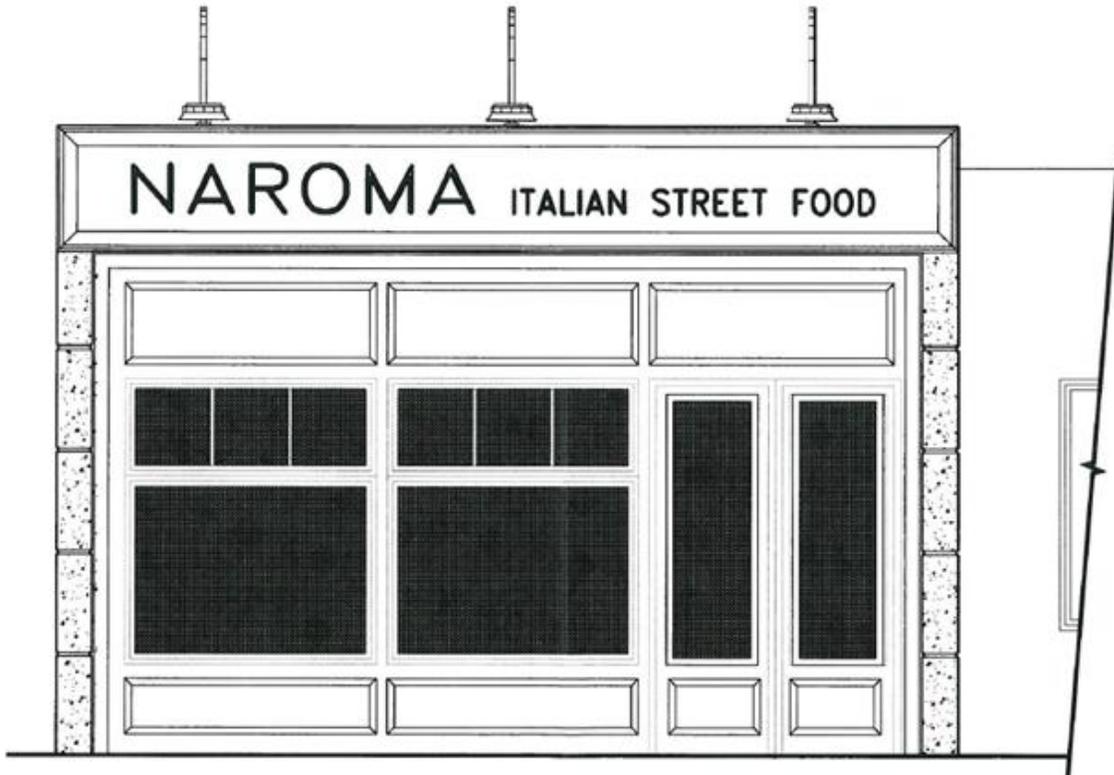


EXHIBIT 2

Photos of Project as Built







EXHIBIT 3

Photos of Inspiration Building Located at 110 Centre St.

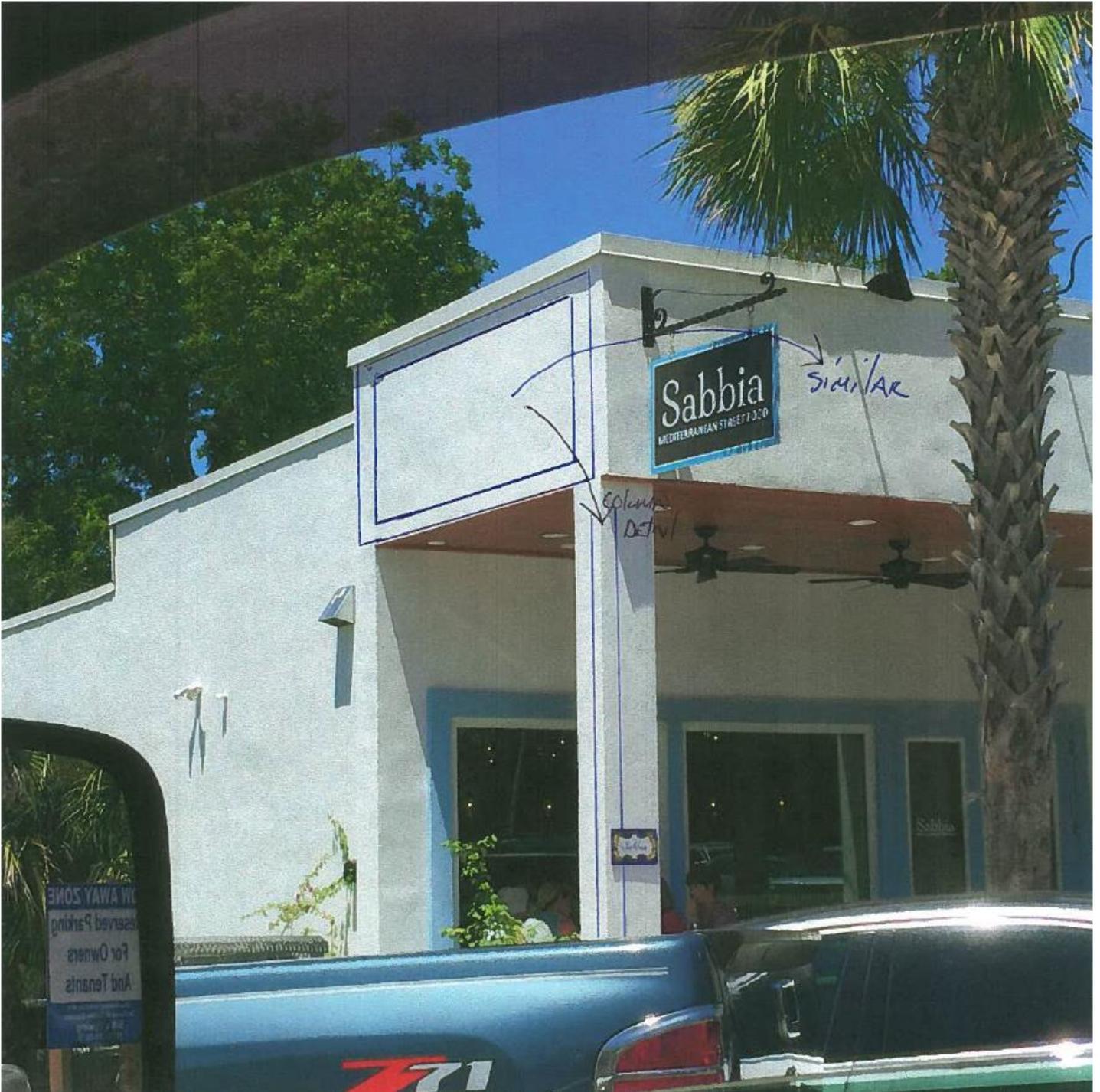
column detail





EXHIBIT 4

Photos with Sketch of Locations Trim will be Added





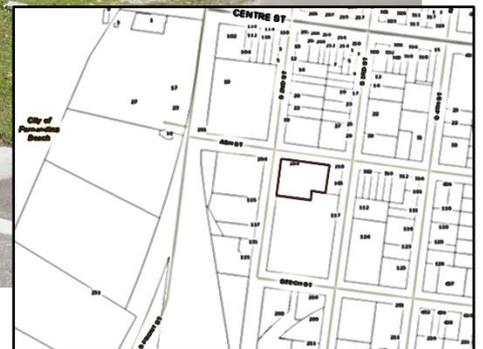




HISTORIC DISTRICT COUNCIL STAFF REPORT
HDC 2015-15
August 18, 2016

Owner/Applicant:	Jose Miranda, agent for Pozzi Enterprises LLC				
Property Address:	302 Ash Street				
Requested action:	Certificate of Approval (COA) for new construction of a 3,225 sq. ft. 2-story mixed-use building. Commercial at 1 st floor and one residential unit on 2 nd floor.				
Current zoning:	C-3				
FLUM land use category:	Central Business District (CBD)				
Existing uses on the site:	Commercial				
Year Built:	N/A				
Contributing/Non-Contributing:	Non-Contributing				
Adjacent Properties:	North	Residential	c.1900	C-3	CBD
	South	Commercial	c.1976	MU-1	Mixed Use
	East	Vacant	N/A	C-3	CBD
	West	Commercial	c.1900	C-3	CBD
Past COAs:	HDC 2015-14: Demolition of existing structure				

All required application materials have been received. All fees have been paid. All required notices have been made.



SUMMARY OF REQUEST AND BACKGROUND INFORMATION:

Applicant is proposing to construct a 2-story, 3225 sq. ft. mixed use commercial building with a café/wine bar on the first floor and a residential unit on the second floor.

A concept review for this project was approved by the HDC on October 8, 2015.

The structure currently at the site is scheduled to be relocated. A demolition COA (HDC 15-14) was approved October 8, 2015.

APPLICABLE GUIDELINES:

Secretary of the Interior's Standards for Rehabilitation

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

City of Fernandina Beach Land Development Code

8.01.01.01 Standards for Development in the Historic District Overlays

- A. The review of proposed development within the Historic District Overlays shall be based upon the latest edition of Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings from the U.S. Secretary of Interior.
- B. The review of proposed development within the Historic District Overlay shall also be based upon compliance with the Downtown Historic District Guidelines, dated December 1999, as amended from time to time. The review of proposed development within Old Town shall be based upon compliance with the Old Town Preservation and Development Guidelines, dated June 1999, as amended from time to time.
- C. In addition to standards applicable to the underlying zoning district, new construction within the Historic District Overlay shall be compatible with the existing character of the landmark or the district. Compatible design means architectural design and construction that will fit harmoniously into the district or the landmark site. New construction shall be compatible in scale, materials, and quality of construction with adjacent buildings and structures that have been designated.
- D. The following features shall be considered by the Historic District Council in the evaluation of proposed new construction, as such features comply with the guidelines referenced in Section 8.01.01.01(A) and (B) above:
 1. Scale, including height and width;
 2. Setbacks;
 3. Orientation and site coverage;
 4. Alignment, rhythm, and spacing of buildings;

5. Form and detail, considering the link between old and new buildings;
6. Maintaining materials within the district or on the landmark site;
7. Maintaining quality within the district or on the landmark site;
8. Facade proportions and window patterns;
9. Entrances and porch projections;
10. Roof forms; and
11. Horizontal, vertical, or non-directional emphasis.

City of Fernandina Beach Downtown Historic District Design Guidelines: Guidelines for New Construction

ADA Compliance and Accessibility Ramps

- 1. Americans with Disabilities Act (ADA) curb cuts should be installed to minimize damage to the original concrete sidewalks and be consistent with the existing concrete color and texture.*
- 2. Locate ramps out of public view.*
- 3. Use landscaping where appropriate to screen accessibility ramps.*

Infill Buildings

- 1. Construct new buildings to a height compatible with existing adjacent buildings. New buildings should have the same number of stories and be within ten percent of the average height of existing buildings as seen from the street and publically accessible areas.*
- 2. Construct new buildings with façade proportions, including the height-to- width ratio, similar to and compatible with others on existing adjacent buildings.*
- 3. New buildings should be compatible with adjacent buildings in terms of setback.*
- 4. Match the degree of new design's complexity with that of existing adjacent buildings. The area's dominant architecture should dictate the degree of simplicity or complexity for a new building.*
- 5. With respect to height-to-width ratios, design new buildings' windows and doors in relation to the proportions of existing adjacent buildings visible from public areas.*
- 6. Design new buildings with solid-to-void rhythms and open-to-solid proportions compatible with those used in existing adjacent buildings.*
- 7. Select materials and textures for new buildings that relate to the extent such materials and textures are used in the surrounding area and on existing adjacent buildings. In areas where strong continuity of materials and textures is a factor, the continued use of those materials should be strongly considered.*
- 8. Select colors for a new building that relate to the use of color in the surrounding area and on existing adjacent buildings. In areas where strong continuity of color is a factor, the continued use of existing colors*

should be strongly considered.

9. Relate architectural details and articulation to that of existing buildings. Such details may include lintels, cornices, arches, chimneys, and ironwork.

10. Design new buildings to be compatible with the historic and architectural character of the area while also recognizing them as products of their own time. By following a majority of the above guidelines, a new building can be designed that respects its historic neighbors without simply duplicating them.

11. Windows should be designed with divided lights and not have snap-in or flush muntin bars.

Utilities and Energy Retrofitting

1. Locate garbage containers behind buildings.

2. Locate mechanical systems behind or on top of buildings, set back or behind a parapet, where they will not be visible from the street.

3. Rear elevations are also the appropriate location for meters, conduits, and other equipment.

4. Minimize the visibility of window unit systems by locating them on the side or rear elevations.

5. Owners of commercial buildings are encouraged to paint their roofs with reflective coatings to reduce energy costs.

6. The installation of solar panels or solar shingles is appropriate for commercial buildings as long as these panels or shingles are not readily visible from the street and are concealed behind roof parapet walls.

7. The installation of solar panels on rear elevations not readily visible from the street is also appropriate in the downtown area.

8. Energy-saving devices such as solar panels may be reviewed, but not to the extent that their placement renders them ineffective. Property owners are encouraged to place solar panels, wind turbines or other energy saving measures on elevations that are not readily visible from the street and do not detract from a building's architectural character.

ANALYSIS:

Staff finds the project to be compliant with SOIS 9 and 10. As was noted during the the Conceptual Review, there is precedent for commercial and mixed used buildings on Ash Street in the Lohman building, the building at S. 5th and Ash, which houses a bakery and residential unit now, the News-Leader building, a law office, and a soon-to-be restaurant. Based on the mix of buildings, staff finds that the proposed mixed-use building is appropriate at this location.

The guidelines for infill buildings recommend that each guideline be considered in relationship to adjacent historic

buildings. In this case, there are immediate historic buildings across the street to the north and west, and one structure to the east on the other side of the vacant parcels. The guidelines also note that in areas where colors and materials vary, conformity of materials is less significant, but other factors such as height and roof shape may be more important. In this case, the historic buildings around this parcel are all two-story structures, so the proposal to construct a two-story building where a one-story building currently exists will not have a detrimental impact to the area. The flat roof is indicative of commercial or mixed-use structures in the Downtown Historic District.

The guidelines recommend that façade proportions be compatible, and given the lot is only 25' wide, it will not compete with other structures in terms of façade width. Setbacks will be compliant, as most of the structures in the vicinity are pulled forward to the street. The existing structure on the lot has the same setbacks as proposed – to the lot line on the north and west sides. In C-3, there are no setbacks. The guidelines note that the area's dominant architecture should dictate the degree of simplicity or complexity in design, but as noted, there is a real variety on Ash Street. Because of this, the other guidelines for infill are less important as noted at the beginning of the guidelines for infill construction. Due to the variety, the main concern is height, roof shape, and massing, which is consistent with the area. The building will not be trying to duplicate other surrounding structures.

Colors for proposed materials include:

Stucco (scored, sand finish)	“Sunset” SW6626
PGT Aluminum Doors & Windows	“Oceanside” SW6496
Concrete Block (foundation)	“Sunset” SW6626
Awnings	“Oceanside” SW6496

Staff concludes the requested action is consistent with the Land Development Code, the Secretary of the Interior Standards, and the Downtown Historic District Guidelines and recommends final approval.

Staff recommends **APPROVAL** of HDC 2015-15.

MOTION TO CONSIDER:

I move to **approve or deny** HDC case number 2015-15;

AND I move that the HDC make the following findings of fact and conclusions of law part of the record:

That HDC case 2015-15, as presented, **is or is not** substantially compliant with the Land Development Code, the Downtown Historic District Guidelines, and the Secretary of the Interior's Standards to warrant approval at this time.

LIST OF EXHIBITS:

- EXHIBIT 1 HDC 2015-15 Application**
- EXHIBIT 2 Elevations**
- EXHIBIT 3 Paint/Color Plan**
- EXHIBIT 4 Photos**
- EXHIBIT 5 Survey**

Salvatore J. Cumella
Planner II



APPLICATION FOR HISTORIC DISTRICT COUNCIL COA

OFFICE USE ONLY

REC'D: 7/20/16 BY: (P)

PAYMENT: \$ — TYPE: —

APPLICATION #: —

CASE #: 2015-15

BOARD MEETING DATE: Aug 18, 2016

APPLICANT INFORMATION

Owner Name: Pozzi Enterprises LLC

Mailing Address: 512 South Fletcher Ave., FB, FL 32034

Telephone: 204-458-2389 Fax: —

Email: carolyn-pozzi@gmail.com

Agent Name: Jose Miranda (Miranda Architects)

Mailing Address: 914 Atlantic Ave, Suite 10, FB, FL 32034

Telephone: 261-4586 Fax: —

Email: jmiranda@mirandaarchitects.com

PROPERTY INFORMATION

Street Address: 302 Ash Street

Parcel Identification Number(s): 00-00-31-1800-0012-0010

Lot Number: 1 Block Number: 12

PROJECT INFORMATION

- STAFF APPROVAL
- BOARD APPROVAL: CONCEPTUAL — OR FINAL
- New Construction
- Demolition
- Additions/Alterations
- Other: —

Brief description of work proposed:

Construction of 2-story, 3,225 sq. ft, mixed-use commercial building with Cafe/Wine Bar at First Floor and Residential Unit at Second Floor.

List proposed materials and colors, as applicable:

Project Scope	Type and Material	Color
Exterior Fabric	Stucco (Scored, Sand Finish)	"Sunset" SW 6626
Doors	PGT Aluminum	"Oceanside" SW 6496
Windows	PGT Aluminum	"Oceanside" SW 6496
Roofing	Flat TPO	—
Fascia/Trim	Stucco Trim	
Foundation	Concrete Block	"Sunset" SW 6626
Shutters	—	
Porch/Deck	Concrete	
Fencing	P.T. Wood	
Driveways/Sidewalks	concrete	plain
Signage	TBD	
Other	Awnings	"Oceanside" SW 6496
Other		
Other		

SIGNATURE/NOTARY

The undersigned states the above information is true and correct as (s)he is informed and believes.

7/19/16
Date

[Signature]
Signature of Applicant

STATE OF FLORIDA
COUNTY OF NASSAU

SS }
Notary Public, State of Florida
SYLVIE McCANN
My Comm. Expires Nov. 12, 2016
Commission No. EE 850673



Subscribed and sworn to before me this 20 day of July, 2016.

[Signature]
Notary Public: Signature

Sylvie McCann
Printed Name

11/12/16
My Commission Expires

Personally Known OR Produced Identification _____ ID Produced: _____



OWNER'S AUTHORIZATION FOR AGENT REPRESENTATION

I /WE Carolyn Pozzi
(print name of property owner(s))

hereby authorize: Jose Miranda & Miranda Architects
(print name of agent)

to represent me/us in processing an application for: Historic District Council (HDC)
(type of application)

on our behalf. In authorizing the agent to represent me/us, I/we, as owner/owners, attest that the application is made in good faith and that any information contained in the application is accurate and complete.

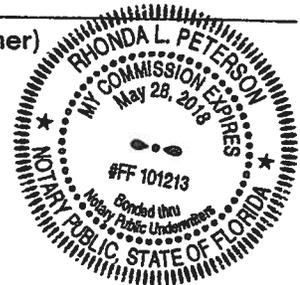
Carolyn Pozzi
(Signature of owner)

(Signature of owner)

Carolyn Pozzi
(Print name of owner)

(Print name of owner)

STATE OF FLORIDA }
COUNTY OF NASSAU }
 ss }



Subscribed and sworn to before me this 15 day of SEPT, 2015.

Rhonda L Peterson
Notary Public: Signature

Rhonda L Peterson
Printed Name

05/28/2018
My Commission Expires

Personally Known X OR Produced Identification _____ ID Produced: _____

NASSAU A. Michael Hickox, CFA, Cert. Res. RD1941 Nassau County Property Appraiser

Property Search Sales Search Nassau Home

OWNER NAME	POZZI ENTERPRISES LLC	PARCEL NUMBER	00-00-31-1800-0012-0010
MAILING ADDRESS	512 SOUTH FLETCHER AVE	TAX DISTRICT	FERNANDINA BEACH (DISTRICT 2)
		MILLAGE	20.6524
		PROPERTY USAGE	STORES, 1 STORY
LOCATION ADDRESS	FERNANDINA BEACH, FL 32034	DEED ACRES	0
	302 ASH ST	HOMESTEAD	N
	FERNANDINA BEACH 32034	PARCEL MAP RECORD	MAP THIS PARCEL
SHORT LEGAL	BLOCK 12 LOT 1 IN OR 2011/1142 CITY OF FONA BEACH	TAX COLLECTOR SEARCH	NASSAU TAX COLLECTOR LINK
		PROPERTY RECORD CARD	LINK TO PROPERTY RECORD CARD (PDF)

2015 Certified Values

JUST VALUE OF LAND	\$62,500
LAND VALUE AGRICULTURAL	\$0
TOTAL BUILDING VALUE	\$40,905
TOTAL MISC VALUE	\$7,982
JUST OR CLASSIFIED TOTAL VALUE	\$111,387
ASSESSED VALUE	\$111,387
EXEMPT VALUE	\$0
TAXABLE VALUE	\$111,387

Land Information

LAND USE	LAND UNITS	LAND UNIT TYPE	SEC-TWN-RNG
STORE 1FLR 001100	2,500	SF	22-3N-28

Building Information

TYPE	TOTAL AREA	HEATED AREA	BED ROOMS	BATHS	PRIMARY EXTERIOR	SECONDARY EXTERIOR	HEATING	COOLING	ACTUAL YEAR BUILT	BUILDING SKETCH
STORE RETL	860	840	0	1.5	ABOVE AVG.		AIR DUCTED	FORCED AIR	1900	SHOW SKETCH

Miscellaneous Information

DESCRIPTION	DIMENSIONS L x W	UNITS	YEAR BUILT
AWNING CN	0 X 0	24	1994
AWNING CN	18 X 12	216	2007
WD DECK G	0 X 0	610	2006
CONCRETE A	0 X 0	500	2006
CONC BUMPE	0 X 0	1	2006

Sales Information

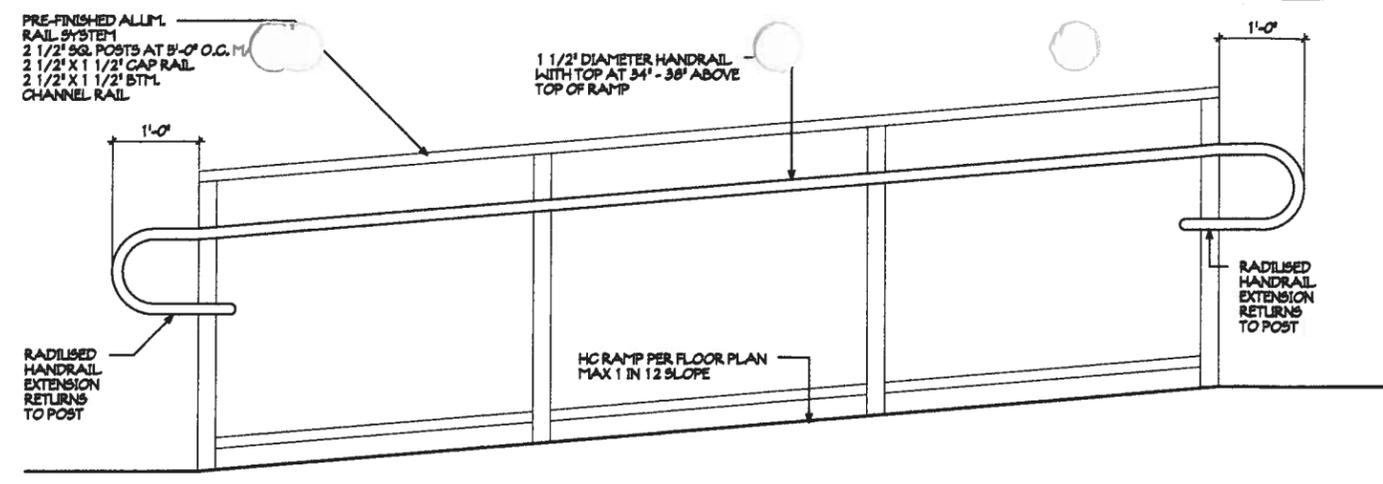
SALE DATE	BOOK / PAGE	BOOK / PAGE	PRICE	INSTRUMENT	QUALIFICATION	IMPROVED? (AT TIME OF SALE)	GRANTOR	GRANTEE
10/27/2015	2011/1142	2011/1142	250000	SW	Q	Y	ASH STREET PROPERTIES LLC	POZZI ENTERPRISES LLC
09/08/2006	1443/121	1443/121	100	WD	U	Y	BOHRER ERIC J & KATHLEEN K	ASH STREET PROPERTIES LLC
09/06/2006	2011/1137	2011/1137	100	WD	U	Y	BOHRER ERIC J & KATHLEEN K	ASH STREET PROPERTIES LLC
09/05/2006	2011/1137	2011/1137	100	WD	U	Y	BOHRER ERIC J & KATHLEEN K BOHRER	ASH STREET PROPERTIES LLC
09/03/2004	1257/67	1257/67	214000	WD	Q	Y	CHRISTOPHER EDWARDS FOUNDATION	BOHRER ERIC J & KATHLEEN K
07/28/1994	710/191	710/191	50000	WD	Q	Y	LONG H VERNON & MARYLEE	CHRISTOPHER EDWARDS FOUNDATION
07/28/1988	548/1127	548/1127	65000	WD	Q	Y	ASKINS THOMAS H	LONG H VERNON & M

EXHIBIT 2

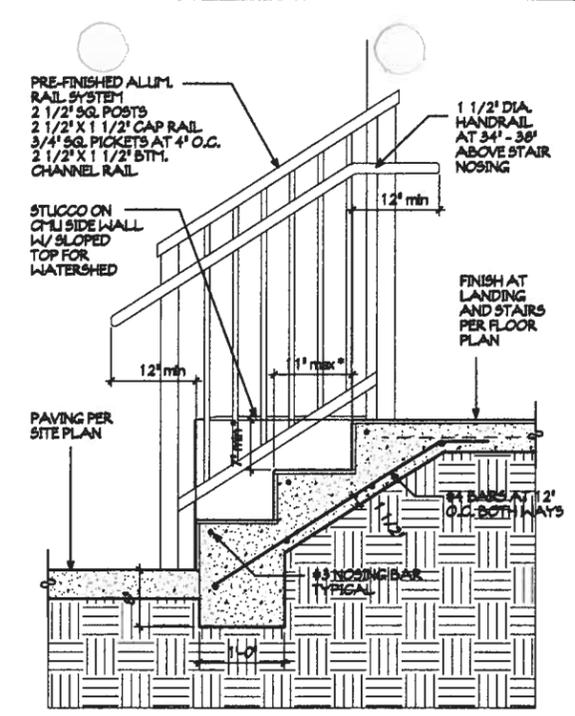
POZZI ENTERPRISES, LLC
 302 ASH STREET
 FERNANDINA BEACH, FL 32034
 TEL: 904-281-4588

PROJECT # P150902	DATE
DRAWN BY - JLT	DATE
CHECK BY - JLT	DATE
DATE - 07-19-16	

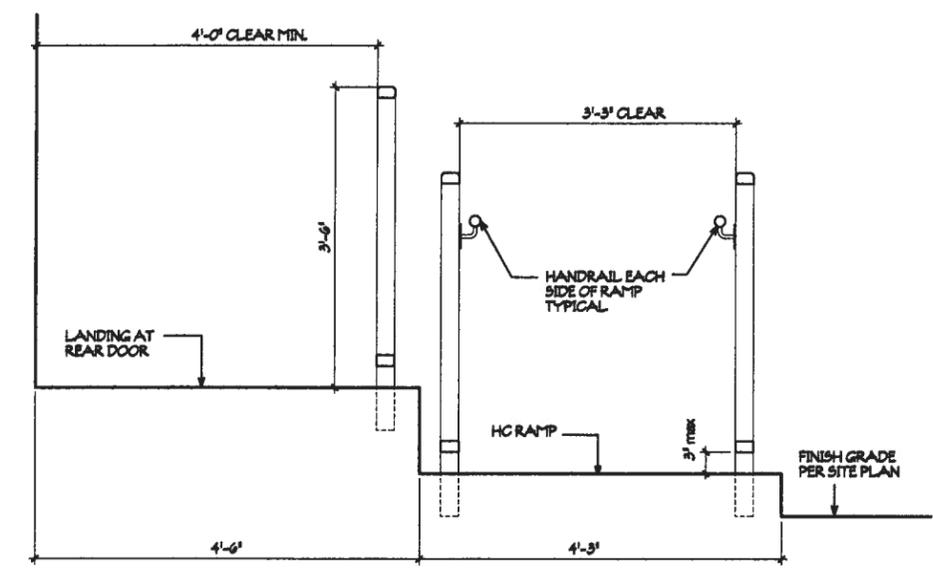
T.R.C. SITE PLAN NOTES	
FUTURE LAND USE:	CENTRAL BUSINESS DISTRICT
ZONING:	C-3 CENTRAL BUSINESS DISTRICT
ACREAGE:	.087 ACRES
SQ. FT. NON-RESIDENTIAL UNIT:	1,423 S.F.
DENSITY:	MAXIMUM = 8 DU/ACRE PROVIDED = 6.1 DU/ACRE
IMPERVIOUS AREA:	MAXIMUM = 100% PROVIDED = 88%
FLOOR AREA RATIO:	MAXIMUM = 200% PROVIDED = 124%
ON SITE PARKING SPACES:	REQUIRED = 0 PROVIDED = 2
RESIDENTIAL UNIT SIZE:	1,423 S.F.



CROSS SECTION AT HC RAMP

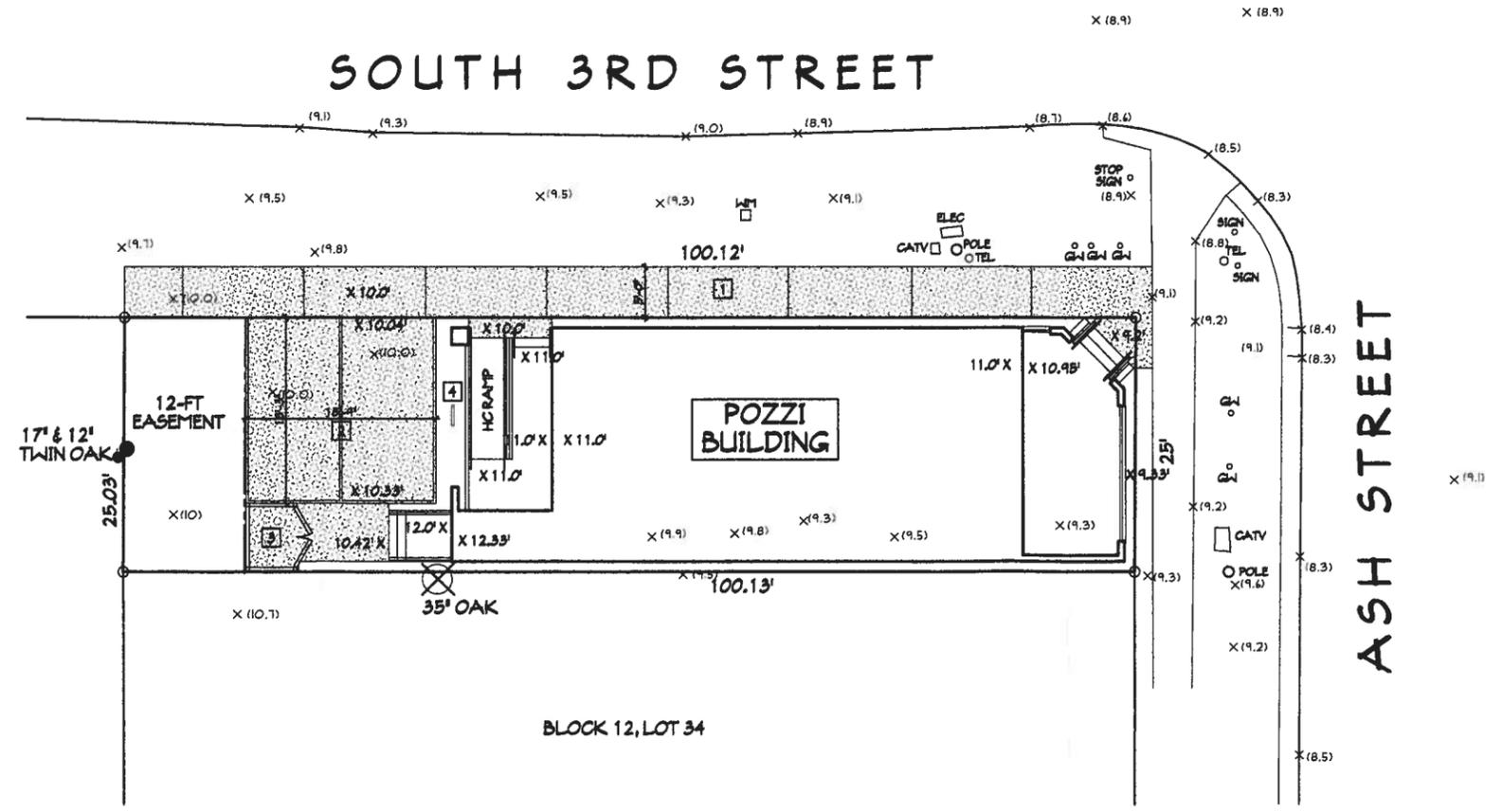


2 STAIR/HANDRAIL DETAIL 1"=1'-0"



CROSS SECTION AT LANDING AND HC RAMP

1 HANDICAPPED RAMP DETAILS 1"=1'-0"



SITE PLAN

SITE PLAN NOTES	
1	SIDEWALK 6" THICK CONCRETE SIDEWALK TO BE CONSTRUCTED IN COMPLIANCE WITH CITY OF FB LDC'S.
2	PARKING 4" THICK CONC. SLAB W/ FIBER MESH REINF. AND WHITE PAINTED STRIPING DELINEATING TWO (2) 9-FT X 18-FT PARKING SPACES.
3	TRASH YARD CONC. SLAB WITH MIN. 6'-0" X 8'-0" X 6'-0" P.T. BOARD ON BOARD FENCE W/ DOUBLE GATES AS INDICATED.
4	BIKE RACK 1 7/8" DIAMETER X 22" LONG PRE-FINISHED ALUMINUM, IN-GROUND BIKE RACK.

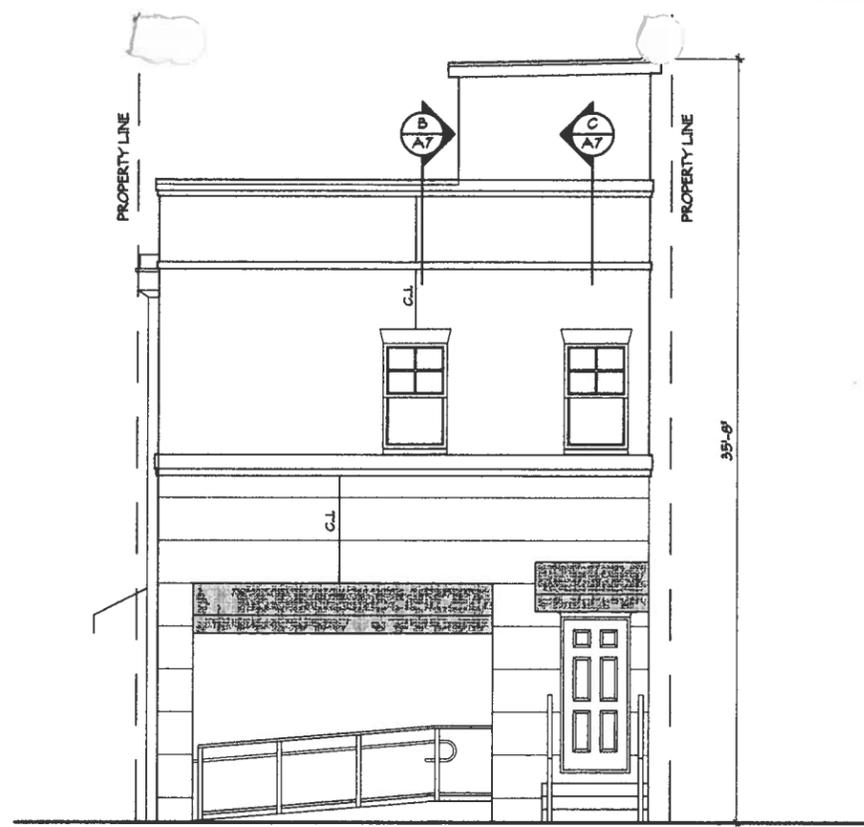
SITE PLAN LEGEND	
[Solid Line]	BUILDING FOOTPRINT
[Stippled Area]	NEW CONCRETE PAVING
[1]	SITE NOTE
X (9.0)	EXISTING SPOT ELEVATION
X (11.0)	NEW SPOT ELEVATION
●	EXISTING TREE TO REMAIN
⊗	EXISTING TREE TO BE REMOVED
⊕	EXISTING GLY WIRE
⊖	WATER METER



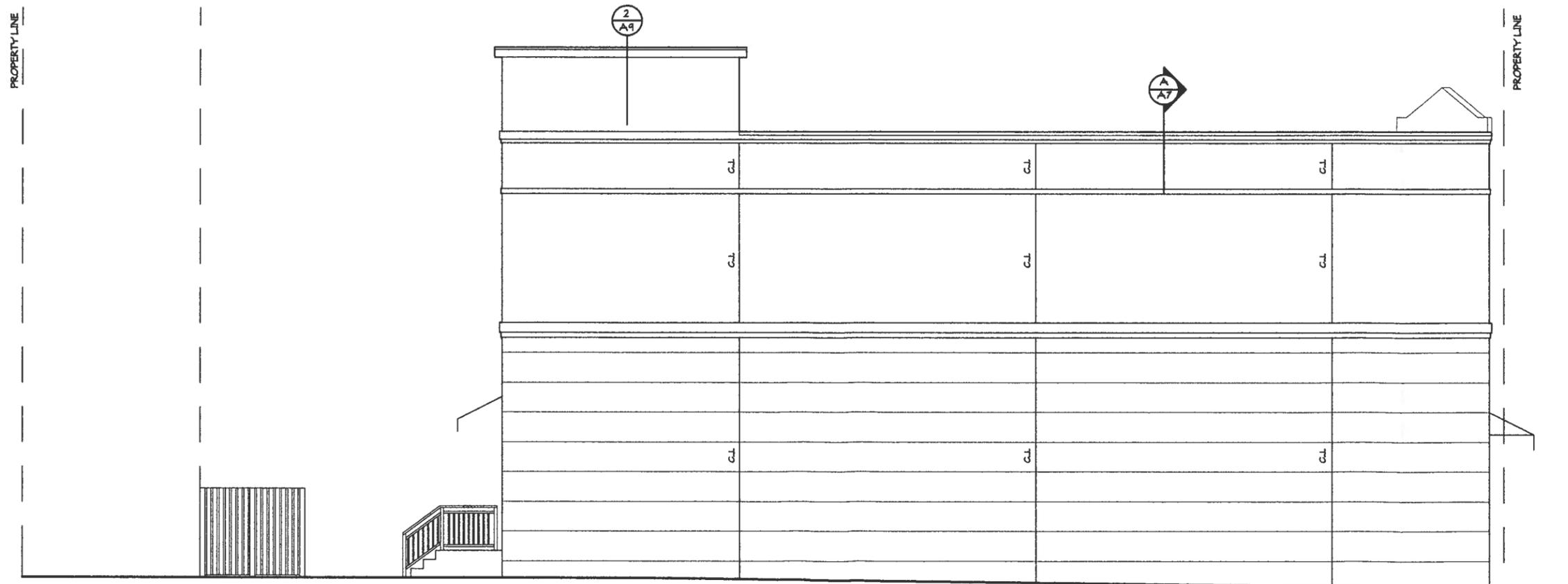
MIRANDA ARCHITECTS
 801 ATLANTIC AVENUE, SUITE E
 FERNANDINA BEACH, FL 32034
 TEL: 904-281-4588

BUILDING DESIGN FOR POZZI ENTERPRISES, LLC
 302 ASH STREET
 FERNANDINA BEACH, FL 32034

SITE PLAN AND DETAILS	
REVISIONS	DATE



SOUTH ELEVATION 1/4"=1'-0"



EAST ELEVATION 1/4"=1'-0"

The accuracy of the drawings, specifications and other data herein is the responsibility of the architect. It is the responsibility of the contractor to verify the accuracy of the data and to report any discrepancies to the architect immediately.

POZZI ALDS EXTERIOR ELEV.
PROJECT # P1.
DRAWN BY - JLM
CHECKED BY - JLM
DATE - 07-06-16

John A. Miranda, Jr.
P.L.A. No. 11887

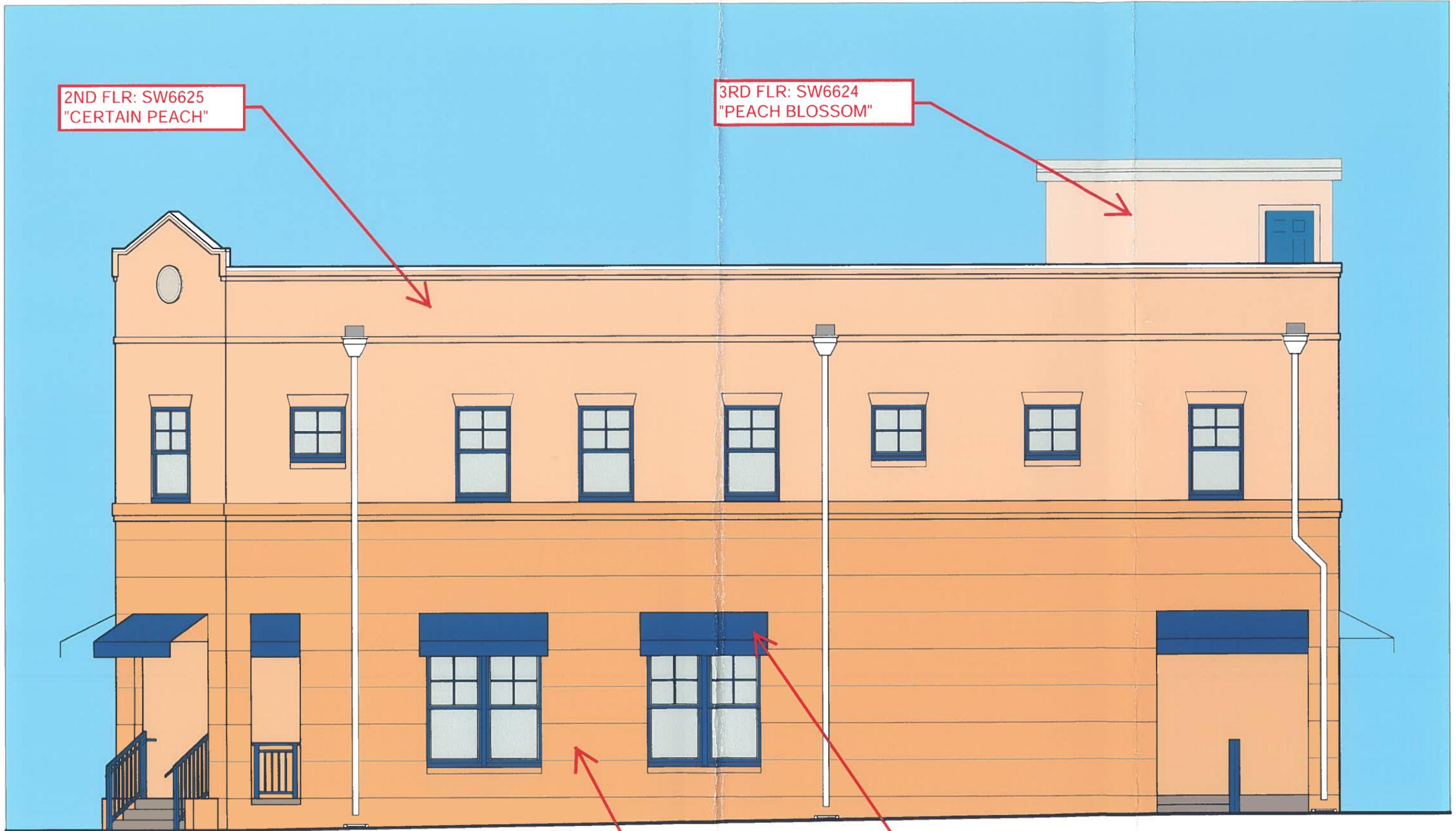
MIRANDA ARCHITECTS
84 ATLANTIC AVENUE, SUITE E
FERNANDINA BEACH, FL 32034
TEL. 904.281.4988
FL. REG. NO. 11887



BUILDING DESIGN FOR
POZZI ENTERPRISES, LLC
302 ASH STREET
FERNANDINA BEACH, FL 32034

EXTERIOR ELEVATIONS	REVISIONS	DATE

A6



2ND FLR: SW6625
"CERTAIN PEACH"

3RD FLR: SW6624
"PEACH BLOSSOM"

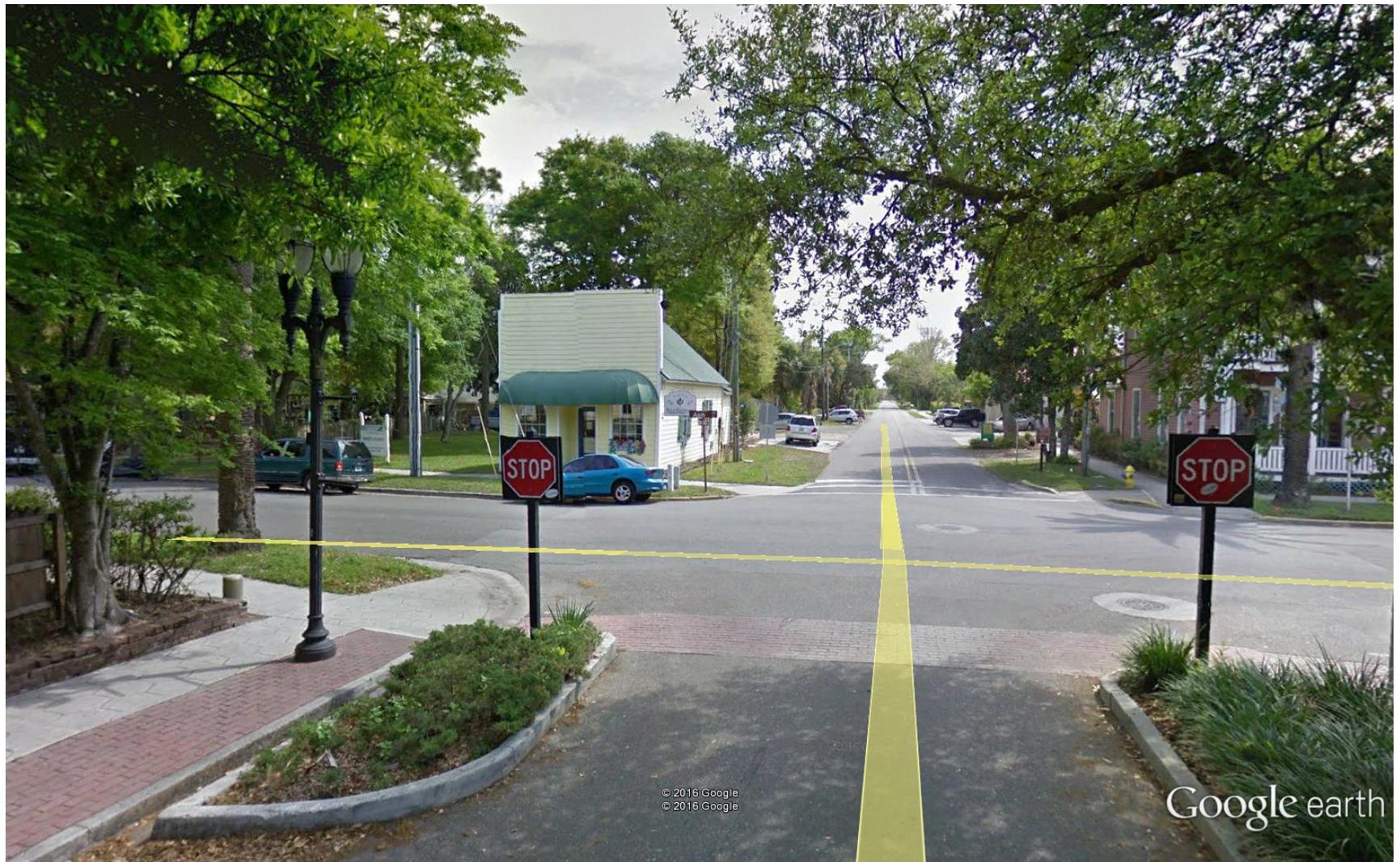
POZZI BUILDING -- COLOR SCHEME B
MIRANDA ARCHITECTS 07/13/16

1ST FLR: SW6626
"SUNSET"

HILIGHT COLOR:
SW6496 "OCEANSIDE"



302 Ash Street



302 Ash Street



302 Ash Street



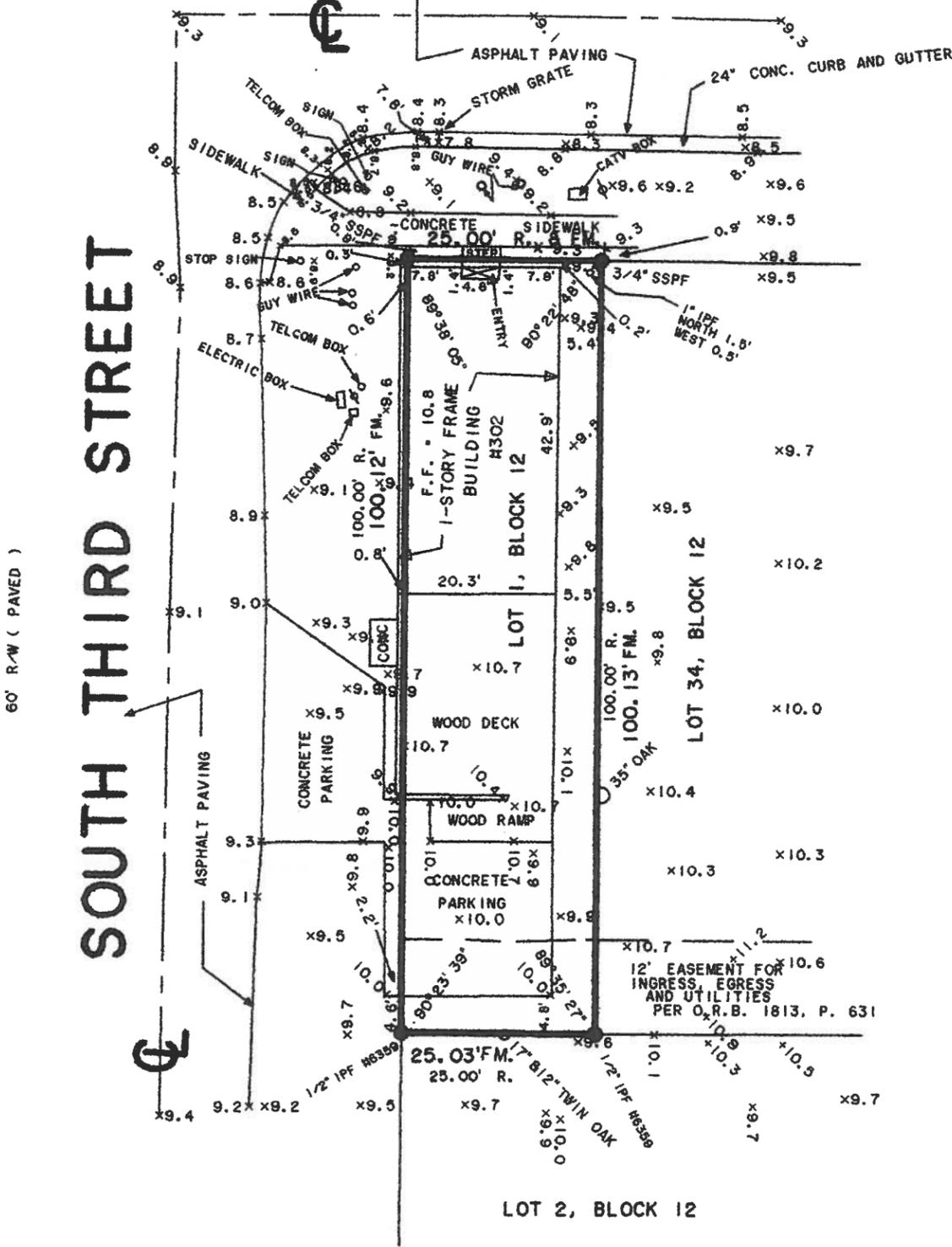
MAP SHOWING BOUNDARY AND TOPOGRAPHIC SURVEY OF LOT 1, BLOCK 12,

LYING AND BEING IN THE CITY OF FERNANDINA BEACH (FORMERLY NAMED FERNANDINA), IN THE COUNTY OF NASSAU AND THE STATE OF FLORIDA, AND KNOWN AND DESCRIBED UPON AND ACCORDING TO THE OFFICIAL PLAT OF SAID CITY (AS LITHOGRAPHED AND ISSUED BY THE FLORIDA RAILROAD COMPANY IN 1857, AND ENLARGED, REVISED AND REISSUED BY THE FLORIDA TOWN IMPROVEMENT COMPANY IN 1887 AND 1901).

FOR:
POZZI ENTERPRISES, LLC.

60' R/W (PAVED)

ASH STREET



SOUTH THIRD STREET

60' R/W (PAVED)

ELEVATIONS SHOWN THUS X 0.0 REFER TO NORTH AMERICAN VERTICAL DATUM 1988.

COASTAL LAND SURVEYORS

& MAPPERS, INC.

34 NORTH FOURTEENTH STREET
FERNANDINA BEACH, FLORIDA 32032
TEL. 904-261-8950 FAX 904-277-6650

I HEREBY CERTIFY THE INFORMATION DEPICTED HEREON AS MEETING THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING, CHAPTER 5J-17.050, FLORIDA ADMIN. CODE, AND/OR CHAPTER 180-7, GEORGIA STATUTES.

James C. Peacock
JAMES C. PEACOCK, PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERTIFICATE NO. 3718
GEORGIA CERTIFICATE NO. 2365
NOT VALID UNLESS EMBOSSED WITH SURVEYORS OFFICIAL SEAL

LICENSED BUSINESS NO. 6412
3-26-16

BEARINGS BASED ON N/A

PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE AE10 AS SHOWN ON

FEMA FLOOD INSURANCE RATE MAP, COMMUNITY NO. 120172 PANEL NO. 0237F DATED 12-17-10.

DATE OF SURVEY: MARCH 1, 2016

SCALE 1"=20'
JOB NO. 1507-23 F.B. 335

CORNER MARKERS HAVE NO IDENTIFICATION U.N.O.

- LEGEND:
- IRON PIPE FOUND - IPF
 - IRON PIPE SET - IPS
 - REBAR FOUND - RBF
 - NOT TO SCALE - NTS
 - BUILDING RESTRICTION LINE - BRL
 - CONCRETE MONUMENT FOUND - CMF
 - STAINLESS STEEL PIPE FOUND - SSPF
 - RIGHT-OF-WAY - R/W
 - POINT OF CURVE - PC
 - POINT OF TANGENCY - PT
 - CENTERLINE - CL
 - POWER LINE - P
 - PLAT - P.
 - FIELD MEASURED - FML
 - RECORD - R. DEED - D.
 - POWER POLE - PP
 - CONCRETE - CONC.
 - FENCE - X
 - RIGHT-OF-WAY - R/W
 - POINT OF REVERSE CURVE - PRC
 - OFFICIAL RECORDS BOOK - O.R.B.

THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.



HISTORIC DISTRICT COUNCIL STAFF REPORT
HDC 2016-20
August 18, 2016

Owner/Applicant:	Benjamin Morrison, agent for First Baptist Church of Fernandina				
Property Address:	19 N 5 th Street				
Requested action:	Variance from LDC Section 1.07.00 definition of Lodging Accommodation prohibiting full kitchens				
Current zoning:	C-3				
FLUM land use category:	Central Business District (CBD)				
Existing uses on the site:	Churches				
Year Built:	1963				
Contributing/Non-Contributing:	Non-Contributing				
Adjacent Properties:	North	Church	c.1925	R-2	Medium-Density Residential
	South	County (parking)	c.1980	C-3	Central Business District
	East	Church	c.1900	C-3	Central Business District
	West	Single Family	c.1900	C-3	Central Business District
Past COAs:	None				

All required application materials have been received. All fees have been paid. All required notices have been made.



SUMMARY OF REQUEST AND BACKGROUND INFORMATION:

This application requests a deviation from the Land Development Code. The definition of lodging accommodations in section 1.07.00, prohibits individual rooms from having full kitchens and laundry facilities.

- **Lodging accommodations** means any unit, group of units, dwelling, building or group of buildings within a single complex of buildings, which is rented to guests more than three (3) times in a calendar year for periods of less than thirty (30) days, or one (1) calendar month, whichever is less, or which is advertised or held out to the public as a place regularly rented to guests. Lodging Accommodations may not be homesteaded and shall not contain a kitchen, but may have a kitchenette as defined in this section. Lodging Accommodations shall not contain laundry facilities in individual units or rooms, but may have a central laundry room accessible to all guests. See also *Hotel/motel*.
- **Kitchenette** means an area within a building containing limited kitchen facilities such as a bar sink, microwave oven, refrigerator/freezer not exceeding 10 cubic feet. Stoves, ranges, and other cook tops are prohibited

Specifically, the applicant seeks a variance from the kitchenette requirement in order to install full kitchens and allow the adaptive use of this building as a lodging accommodation. The building was originally constructed as part of First Baptist Church of Fernandina's campus.

The intent behind prohibiting lodging accommodations from having full kitchens and laundry facilities is to prevent the conversion of commercial lodging facilities into residential dwelling units.

CONSISTENCY WITH THE COMPREHENSIVE PLAN:

The following Comprehensive Plan statements are applicable in this case:

- Policy 1.01.03 – The City shall encourage the maintenance, restoration and adaptive reuse of existing urban areas, including buildings, infrastructure, and other assets, to reduce energy use and Vehicle Miles Traveled (VMTs).
- Policy 1.02.07 –The City shall implement the Fernandina Beach Comprehensive Plan in a manner that acknowledges private property rights.
- Policy 1.02.10 – The City shall protect privacy and access to light, air, and open space. The City shall consider regulations such as building placement on a site, building design, and building orientation as one means to achieve this policy.
- Policy 1.02.12 –The City shall ensure that the image, function, architecture, and ambiance of the historic downtown further the use and development of downtown as the ceremonial, civic, and cultural center of the City. Toward this end, the City shall preserve and enhance the identity, design, and vitality of the downtown, including the designated Downtown Historic District, Old Town Historic District, and the surrounding downtown core.
- Objective 1.04 - ...The City will focus its redevelopment and infill efforts to encourage development in already urbanized areas that...capitalize on existing community assets...
- Objective 1.05 - To promote re-use of structures that contribute to the character, diversity and sustainability of a neighborhood and to promote economic redevelopment by regulating structures and uses that do not conform to the current Plan or Land Development Code, but were lawfully established and in compliance with all applicable ordinances and laws at the time the structure was constructed and/or the use began, the City shall permit the continuation of the structure until such time that it becomes hazardous or dangerous and shall seek to eliminate nonconforming land uses.
- Objective 1.06 – Community character is reflected in lot sizes, house sizes, site placement, height, architectural features, and existing vegetation. The City shall strive to stabilize and preserve neighborhoods and establish urban design standards which protect and promote quality of life, in order to prevent teardowns, encourage reuse, infill and new development.
- Policy 11.01.01 – The City shall encourage the protection, preservation and conservation of districts, sites,

landmarks and/or structures within the City that are included on the National Register of Historic Places, or in a locally designated historic district, to ensure their protection from demolition, deterioration, reconstruction or alteration.

- Policy 12.02.03 – the City shall, through its Comprehensive Plan and Land Development Code policies and implementation, continue to preserve, enhance, and improve the City’s aesthetic characteristics and its historical, cultural, and environmental resources as assets to attract targeted businesses to the City.
- Objective 12.04 – The City shall seek to strengthen its local economy by expanding visitor demand and promoting year-round tourism while balancing the needs of its citizens and preserving its unique character, and its cultural, historical, and environmental resources.
- Policy 12.04.02 – The City, through its Land Development Code, shall establish policies which promote high-value and sustainable tourist development which support the City’s Comprehensive Plan goals for energy efficient and low impact development.

CONSISTENCY WITH THE LAND DEVELOPMENT CODE:

Variance procedures and criteria are set forth in Sections 10.02.01 through 10.02.04.

- Section 10.02.01(A) states that within the Historic District Overlays and the CRA Overlay, the HDC may authorize a variance from the design and improvement standards of the LDC where the required findings of Section 10.02.00 are met.
- Section 10.02.02(B) states that the applicant for a variance has the burden of proof of demonstrating that the variance application complies with each of the requirements of Section 10.02.02(A).
- Section 10.02.04 sets forth the application requirements. This application includes information necessary for the HDC to make the required findings.
- Section 10.02.01(C) sets forth the limitations on the grant of a variance:
 - A variance shall not be granted which authorizes a use that is not permissible in the zoning district in which the property subject to the variance is located.
 - A variance shall not be granted which authorizes any use or standard that is prohibited by the City’s Comprehensive Plan.
 - No nonconforming use of adjacent lands, structures, or buildings in the same zoning district, and no permitted use of land, structures, or buildings in other zoning districts, shall be considered grounds for the authorization of a variance.
 - A variance shall not change the requirements for concurrency.
 - A variance shall not be granted to permit the use of a single media peonia for the construction of a dwelling unit.
 - A variance shall not be granted if the evidence submitted by an applicant is a demonstration of financial hardship or economic considerations.
 - A variance shall not be granted for procedure or process components of this Land Development Code.
 - A variance shall not be granted to deviate from LDC section 4.02.02 to combine two (2) or more lots which would result in a lot width greater than 100 feet for lots or parcels that abut Ocean Avenue, North Fletcher Avenue, or South Fletcher Avenue.

Staff’s review of this application finds it is not subject to any of these limitations and can therefore be considered by the Board.

- Section 10.02.02(A) – *In order for an application for a variance to be approved or approved with conditions, the BOA or the HDC shall make a positive finding with regard to each of the following provisions: (Staff findings in **BOLD**.)*
 1. Special Conditions: Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district. Special conditions or circumstances do not result from actions of the applicant and are not based

on a desire to reduce development costs. **Yes, the existing building was designed and built for a very specific function. This design is limiting in the possible adaptive uses that could be proposed for this building.**

2. Special Privilege: Granting the variance does not confer upon the applicant a special privilege that is denied by the Land Development Code to other lands, structures, or buildings in the same zoning district. **No, granting the variance does confer upon the applicant a special privilege. All lodging accommodations are prohibited from having full kitchens in individual units.**
 3. Literal Interpretation: Literal interpretation of the provisions of the Land Development Code would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district. **No, literal interpretation of the LDC would not deprive the applicant of any rights commonly enjoyed by other properties with the same zoning.**
 4. Minimum Variance: The variance requested is the minimum variance needed that will make possible the reasonable use of the land, structure, or building. **Yes, providing this type of lodging accommodation in this structure helps ensure its continued use, and helps avoid deterioration or demolition.**
 5. General Harmony: Granting the variance will be in harmony with the general intent and purpose of the Land Development Code and Comprehensive Plan. **Yes, the Code and Plan encourage adaptive reuse of structures that contribute to the character, diversity and sustainability of a neighborhood and to promote economic redevelopment. A downtown lodging accommodation that will allow guests to stay in the Downtown Historic District will attract more visitors to the City of Fernandina Beach.**
 6. Public Interest: Granting the variance is compatible with surrounding properties, will not cause injury to the area involved, or otherwise be detrimental to the public health, safety, welfare or environment. **Yes, the variance would not cause injury to the area involved or be detrimental to the public health, safety, welfare or environment. The structure and associated use helps contribute to the diversity, character and stability of the Central Business District.**
- Section 10.02.03 – *In acting on variance requests in the Historic District Overlays or the Community Redevelopment Area Overlay, the Historic District Council may be guided by the following in addition to the criteria in Section 10.02.02(A):*
(Staff findings in **BOLD**.)
- A. That a variance is necessary to maintain the historic character of property through demonstrating that:
1. A variance would not be contrary to the public interest, safety, or welfare. **Yes, there would be no injury to the public interest, safety or welfare.**
 2. Special conditions and circumstances exist, because of the historic setting, location, nature, or character of the land, structure, appurtenance, sign, or building involved, which are not applicable to other lands, structures, appurtenances, signs, or buildings in the same zoning district, which have not been designated as historic sites or a historic district nor listed on the Local Register of Historic Places. **Yes, the building is no longer being used for the purpose that it was designed. The building is constrained by its design as to what adaptive uses will be best suited to this location. A lodging accommodation would be well suited to the design of the building.**
 3. Literal interpretation of the provisions of existing ordinances would alter the historic character of the historic district, or historic site to such an extent that it would not be feasible to preserve the historic character, of the historic district or historic site. **Not applicable.**

4. The variance requested is the minimum necessary to preserve the historic character of a historic site or of a historic district. **Yes, the applicant is only requesting the one variance which will help ensure the continued use of the building and help avoid deterioration or demolition.**
5. In the case of the alteration of an existing building, the proposed design would incorporate materials, details, or other elements not permitted by the Land Development Code but which can be documented by photographs, architectural or archaeological research or other suitable evidence to have been used on other buildings of a similar vintage and style in the Historic District in which the building is located, provided that the project will not destroy significant architectural features on the building. **Not applicable.**
6. In the case of new construction, the proposed design incorporates materials, details, setbacks, massing or other elements that are not permitted by the Land Development Code but which would enhance the quality of the design for the new building or structure, provided that said new building or structure otherwise complies with the criteria for new construction in the Historic District in which the building or structure is proposed to be located and provided further that it would also have a beneficial effect on the historic character of the visually related area. **Not applicable.**

B. Or, as an alternative to subsection (A), that a variance is necessary to accommodate an appropriate adaptive reuse of a structure within a Historic District or upon a Historic Site through demonstrating that:

1. A variance would not be contrary to the public interest, safety, or welfare. **Yes, a variance would not be contrary. The structure and associated use helps contribute to the diversity, character and stability of the Central Business District.**
2. The variance would not significantly diminish the historic character of the Historic District or Site. **Yes, it would not diminish the district or site; it will only enhance and help maintain the vitality of the downtown.**
3. That the variance requested is the minimum necessary to affect the adaptive reuse of an existing structure or site. **Yes, this would allow the applicant the desired space use with the appropriate facilities.**
4. The proposed design would incorporate materials, details, or other elements not permitted by the Land Development Code but which can be documented by photographs, architectural or archaeological research or other suitable evidence to have been used on other buildings of a similar vintage and style in the Historic District in which the building is located, provided that the project will not destroy significant architectural features on the building. **Not applicable.**

ANALYSIS TO CONSIDER:

Staff finds that this case is consistent with the Comprehensive Plan in that it encourages a use that is consistent with our Central Business District. It will also help retain the vitality of the downtown and surrounding downtown core. Private property rights and access to light, air and open space are retained with the proposed request. Lastly, providing for this adaptive reuse meets the needs of the applicant and helps ensure the continued use of this structure.

In evaluating the variance criteria under 10.02.02(A), staff finds that the applicant cannot positively meet all six criteria. Specifically, #2 and #3 are not satisfied; therefore, staff has to recommend DENIAL.

The Board may wish to consider that in evaluating the additional variance criteria under 10.02.03(A) related to properties in the Historic District, staff finds that all applicable criteria have been satisfied.

Staff would like to note that variance from LDC Section 1.07.00 *definition of Lodging Accommodation prohibiting full kitchens* has been requested and granted twice in the past, for the Marriott Residence Inn on Sadler Rd. (March 2007)

and for 10 N. 2nd Street in the Downtown Historic District (June 2016).

MOTION TO CONSIDER:

I move to **approve or deny** HDC case number 2016-20;

AND I move that the HDC make the following findings of fact and conclusions of law part of the record:

That HDC case 2016-20, as presented, **is or is not** substantially compliant with the Land Development Code, the Downtown Historic District Guidelines, and the Secretary of the Interior's Standards to warrant approval at this time.

LIST OF EXHIBITS:

EXHIBIT 1 HDC 2016-20 Application

Salvatore J. Cumella
Planner II

OFFICE USE ONLY

REC'D: 7/6/16 BY: ADL
PAYMENT: \$650 - TYPE: CR 22118
APPLICATION #: 2016-0001058
CASE #: 2016-20
BOARD MEETING DATE: Aug. 18, 2016



APPLICATION FOR VARIANCE FROM THE LDC

APPLICANT INFORMATION

Owner Name: First Baptist Church of Fernandina
Mailing Address: 1600 8th Street, Fernandina Beach, FL 32034
Telephone: _____ Fax: _____
Email: _____

Agent Name: Benjamin Morrison
Mailing Address: 9 South 3rd Street, Fernandina Beach, FL 32034
Telephone: 904-277-4593 Fax: _____
Email: Benjamin@cotnerassociates.com

PROPERTY INFORMATION

Street Address: 19 N. 5th Street
Parcel Identification Number(s): 00-00-31-1300-0023-0100
Lot Number: 10 & 11 Block Number: 23

PROJECT INFORMATION

Variance(s) requested from LDC Section(s): Chapter 1 - Kitchenette to full kitchen

Brief description of work proposed (use additional sheets if necessary):

This variance is being requested as the minimum necessary change to affect the adaptive reuse of an existing structure and will not change the look of the building.
The variance being requested is the same variance that was granted to the Merrifield Residence Inn and most recently to Clark Kavanaugh for his unit on 2nd Street.

In order for an application for a variance to be approved or approved with conditions, the BOA or the HDC must make a positive finding with regard to each of the provisions below. The applicant has the burden of proof of demonstrating that the application for a variance complies with each of the requirements. Please explain in detail how your case meets the following requirements:

1. Special Conditions: Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district. Special conditions or circumstances do not result from actions of the applicant and are not based on a desire to reduce development costs.

THERE ARE NO CIRCUMSTANCES THAT EXIST THAT WOULD RESULT IN THE APPLICANT REDUCTION IN DEVELOPMENT COSTS IF THIS VARIANCE IS ALLOWED

2. Special Privilege: Granting the variance does not confer upon the applicant a special privilege that is denied by the Land Development Code to other lands, structures, or buildings in the same zoning district.

GRANT THIS VARIANCE DOES NOT CONFER UPON THE APPLICANT ANY SPECIAL PRIVILEGE THAT IS DENIED BY THE LAND DEVELOPMENT CODE TO OTHER STRUCTURES

3. Literal Interpretation: Literal interpretation of the provisions of the Land Development Code would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district.

N/A

4. Minimum Variance: The variance requested is the minimum variance needed that will make possible the reasonable use of the land, structure, or building.

THIS VARIANCE REQUESTED IS THE MINIMUM VARIANCE NEEDED THAT WILL MAKE POSSIBLE THE REASONABLE REUSE OF THE STRUCTURE

5. General Harmony: Granting the variance will be in harmony with the general intent and purpose of the Land Development Code and Comprehensive Plan.

GRANTING THIS VARIANCE WILL BE IN HARMONY WITH THE GENERAL INTENT AND PURPOSE OF THE LAND DEVELOPMENT CODE AND COMPREHENSIVE PLAN

6. Public Interest: Granting the variance is compatible with surrounding properties, will not cause injury to the area involved, or otherwise be detrimental to the public health, safety, welfare or environment.

granting this variance is compatible with the surrounding properties and will not cause injury to the area involved. This will be beneficial to the city population, tax base, and overall livability of the downtown historic district.

If your property is located within the Historic Districts or the Community Redevelopment Area, please fill out responses to the supplemental variance criteria, attached as Appendix A, on a separate sheet of paper.

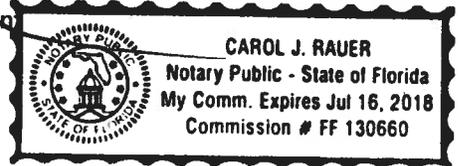
SIGNATURE/NOTARY

The undersigned states the above information is true and correct as (s)he is informed and believes.

8/2/16
Date

[Signature]
Signature of Applicant

STATE OF FLORIDA }
 ss }
COUNTY OF NASSAU }



Subscribed and sworn to before me this 2nd day of August, 2016.

[Signature]
Notary Public: Signature

CAROL J. RAUER
Printed Name

7/16/2018
My Commission Expires

Personally Known OR Produced Identification _____ ID Produced: _____



OWNER'S AUTHORIZATION FOR AGENT REPRESENTATION

I/WE Steve Simmons / First Baptist Church
(print name of property owner(s))

hereby authorize: BENJAMIN MORRISON
(print name of agent)

to represent me/us in processing an application for: HDC VARIANCE For Kitchens
(type of application)

on our behalf. In authorizing the agent to represent me/us, I/we, as owner/owners, attest that the application is made in good faith and that any information contained in the application is accurate and complete.

[Signature]
(Signature of owner) Chairman of Deacons

(Signature of owner)

Steve Simmons
(Print name of owner)

(Print name of owner)

STATE OF FLORIDA }
 ss }
COUNTY OF NASSAU }

Subscribed and sworn to before me this 2nd day of August, 2016.

[Signature]
Notary Public: Signature

KIM L. LYNCH
Printed Name

3-4-18
My Commission Expires

Personally Known OR Produced Identification _____ ID Produced: _____



APPENDIX A

HISTORIC DISTRICT AND COMMUNITY REDEVELOPMENT AREA VARIANCE CRITERIA

In acting on variance requests in the Historic District Overlays or the Community Redevelopment Area Overlay, the Historic District Council (HDC) may take into account the following criteria in addition to the criteria filled out in the above application. **Please provide responses, as applicable, on a separate sheet of paper.**

- A. That a variance is necessary to maintain the historic character of property through demonstrating that:
1. A variance would not be contrary to the public interest, safety, or welfare.
 2. Special conditions and circumstances exist, because of the historic setting, location, nature, or character of the land, structure, appurtenance, sign, or building involved, which are not applicable to other lands, structures, appurtenances, signs, or buildings in the same zoning district, which have not been designated as historic sites or a historic district nor listed on the Local Register of Historic Places.
 3. Literal interpretation of the provisions of existing ordinances would alter the historic character of the historic district, or historic site to such an extent that it would not be feasible to preserve the historic character, of the historic district or historic site.
 4. The variance requested is the minimum necessary to preserve the historic character of a historic site or of a historic district.
 5. In the case of the alteration of an existing building, the proposed design would incorporate materials, details, or other elements not permitted by the Land Development Code but which can be documented by photographs, architectural or archaeological research or other suitable evidence to have been used on other buildings of a similar vintage and style in the Historic District in which the building is located, provided that the project will not destroy significant architectural features on the building.
 6. In the case of new construction, the proposed design incorporates materials, details, setbacks, massing or other elements that are not permitted by the Land Development Code but which would enhance the quality of the design for the new building or structure, provided that said new building or structure otherwise complies with the criteria for new construction in the Historic District in which the building or structure is proposed to be located and provided further that it would also have a beneficial effect on the historic character of the visually related area.
- B. Or, as an alternative to subsection (A), that a variance is necessary to accommodate an appropriate adaptive reuse of a structure within a Historic District or upon a Historic Site through demonstrating that:
1. A variance would not be contrary to the public interest, safety, or welfare.
 2. The variance would not significantly diminish the historic character of the Historic District or Site.
 3. That the variance requested is the minimum necessary to effect the adaptive reuse of an existing structure or site.
 4. The proposed design would incorporate materials, details, or other elements not permitted by the Land Development Code but which can be documented by photographs, architectural or archaeological research or other suitable evidence to have been used on other buildings of a similar vintage and style in the Historic District in which the building is located, provided that the project will not destroy significant architectural features on the building.

Appendix A

B as an alternative to subsection (A)

The variance that is being requested will not be contrary to the public interest, safety, or welfare. In no way does this variance diminish the historic character of the Historic District or site.

This variance is being requested as the minimum necessary change to affect the adaptive reuse of an existing structure and will in no way change the look of the building.

The variance being requested is the same variance that was granted to the Marriott Inn Residence located on Sadler Road, Fernandina Beach. Currently, short-term rental units are allowed Kitchenette. This request is to allow full kitchens in each rental units.

NASSAU

A. Michael Hickox, Cert. Res. RD1941
Nassau County Property Appraiser

Property Search Recent Sales Search Nassau Home

OWNER NAME FIRST BAPTIST CHURCH OF
MAILING ADDRESS FERNANDINA BEACH
 1600 S 8TH ST
 FERNANDINA BEACH, FL 32034
LOCATION ADDRESS 19 N 5TH ST
 FERNANDINA BEACH 32034
SHORT LEGAL BLOCK 23 LOTS 8 9 10 11 CITY OF FDNA
 BEACH

PARCEL NUMBER 00-00-31-1800-0023-0080
TAX DISTRICT FERNANDINA BEACH (DISTRICT 2)
MILLAGE 20.6524
PROPERTY USAGE CHURCHES
DEED ACRES 0
HOMESTEAD N
PARCEL MAP RECORD [MAP THIS PARCEL](#)
TAX COLLECTOR SEARCH [NASSAU TAX COLLECTOR LINK](#)
PROPERTY RECORD CARD [LINK PROPERTY RECORD CARD \(PDF\)](#)

	2014 Certified Values
JUST VALUE OF LAND	\$490,000
LAND VALUE AGRICULTURAL	\$0
TOTAL BUILDING VALUE	\$0
TOTAL MISC VALUE	\$1,785,480
JUST OR CLASSIFIED TOTAL VALUE	\$6,951
ASSESSED VALUE	\$2,282,431
EXEMPT VALUE	\$2,282,431
TAXABLE VALUE	\$2,282,431
	\$0

Land Information

LAND USE	LAND UNITS	LAND UNIT TYPE	SEC-TWIN-RNG
CHURCH 007100	10,000	SF	22-3N-28
CHURCH 007100	10,000	SF	22-3N-28

Building Information

TYPE	TOTAL AREA	HEATED AREA	BED ROOMS	BATHS	PRIMARY EXTERIOR	SECONDARY EXTERIOR	HEATING	COOLING	ACTUAL YEAR BUILT	BUILDING SKETCH
CHURCH	5,033	5,033	0	0	COMMON BRK		RAD WATER	HOT WATER	1925	SHOW SKETCH
CHURCH	8,499	8,176	0	0	COMMON BRK		RAD WATER	HOT WATER	1953	SHOW SKETCH
SCHOOL	25,194	20,739	0	0	COMMON BRK		AIR DUCTED	FORCED AIR	1963	SHOW SKETCH

Miscellaneous Information

DESCRIPTION	DIMENSIONS L x W	UNITS	YEAR BUILT
BRICK	7 X 27	189	1925
BRICK	16 X 8	128	1925
CONCRETE A	7 X 39	273	1953
CONC 12"	2 X 271	542	1963
CONCRETE A	4 X 6	24	1963

Sales Information

There is no Sales Information for this record.



HISTORIC DISTRICT COUNCIL STAFF REPORT
HDC 2016-21
August 18, 2016

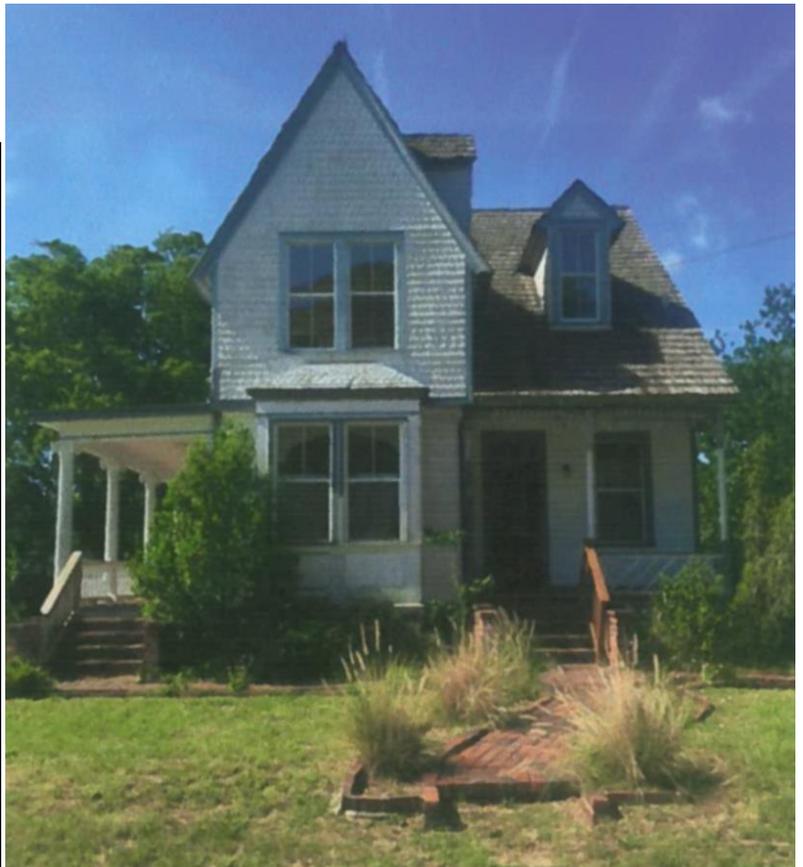
Owner/Applicant:
Property Address:
Requested action:

Current zoning:
FLUM land use category:
Existing uses on the site:
Year Built:
Contributing/Non-Contributing:
Adjacent Properties:

Johnson Home Builders, Inc., agent for Kevin Berry				
910 San Fernando St.				
Certificate of Approval (COA) to enclose breezeway at south elevation of the home.				
OT-1				
High-Density Residential				
Single-Family Residential				
1910				
Contributing				
North	Vacant	N/A	OT-1	High-Density Residential
South	SF Residential	c.1920	OT-1	High-Density Residential
East	Vacant	N/A	OT-1	High-Density Residential
West	SF Residential	c.2012	OT-1	High-Density Residential
HDC SA 2016-54 Replace roof with classic rib natural finish metal roof.				

Past COAs:

All required application materials have been received. All fees have been paid. All required notices have been made.



SUMMARY OF REQUEST AND BACKGROUND INFORMATION:

Applicant is proposing to enclose a breezeway that runs along the southern (rear) elevation. This will allow for the conversion of a storage room into a bathroom. Existing exterior doors will be reused at the two new entrances and siding will match existing in design and color.



APPLICABLE GUIDELINES:

Secretary of the Interior's Standards for Rehabilitation

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Land Development Code

8.01.01 Standards for Development in the Historic District Overlays

- A. The review of proposed development within the Historic District Overlays shall be based upon the latest edition of Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings from the U.S. Secretary of Interior.

- B. The review of proposed development within the Historic District Overlay shall also be based upon compliance with the Downtown Historic District Guidelines, dated December 1999, as amended from time to time. The review of proposed development within Old Town shall be based upon compliance with the Old Town Preservation and Development Guidelines, dated June 1999, as amended from time to time.

8.01.01.02 Specific Requirements within the OT-1 and OT-2 Zoning Districts

C. General requirements

1. Guidelines adopted by reference: The Old Town Preservation and Design Guidelines are hereby adopted by reference and incorporated herein.

Old Town Fernandina Preservation and Development Guidelines

3.8 Alteration and Additions to Historic Buildings

The final step involves alterations and additions. Some exterior and interior alterations to a historic building are generally needed to assure its continued use. It is, however, generally important that such alterations do not radically change, obscure, or destroy character-defining spaces, materials, features, or finishes.

Alterations may include providing additional parking space on an existing historic building site; cutting new entrances or windows on secondary elevations; and installing an entirely new mechanical system.

Alterations may include the selective removal of building or other features of the environment or building site that are intrusive and therefore detract from the overall historic character. The construction of an exterior addition to a historic building may seem to be essential for new use. The guidelines emphasize, however, that such new additions should be avoided, if possible, and considered only after it is determined that those needs cannot be met by altering secondary, non-character-defining interior spaces. If, after a thorough evaluation of interior solutions, an exterior addition is still judged to be necessary, and it can be clearly differentiated from the historic building and constructed so that the character-defining features are not radically changed, obscured, damaged, or destroyed, then it may be appropriate.

Additions to historic buildings are often required to make projects economically feasible, to satisfy fire and building code requirements, to house mechanical systems, and for other personal or practical reasons. They are allowed under the Secretary of the Interior's Standards and specifically addressed by Standards 9 and 10.

Although additions are usually acceptable, they should be undertaken only after it has been determined that the new use cannot be successfully met by altering non-character defining interior spaces. If undertaken, additions should not significantly alter original distinguishing qualities of building such as the basic form, materials, fenestration, and stylistic elements under Standard 2. Additions that imitate the style of the existing building or other historical styles should be avoided under Standard 3. Under Standard 9, additions should be clearly distinguished from original portions of a building and should result in minimal damage to it. Character defining features of a historic building should not be radically changed, obscured, damaged, or destroyed in the process of adding new construction. The size and scale of the new addition should be in proportion to the historic portion of a building and clearly subordinate to it. Additions should be attached to the rear or least conspicuous side of a building. Under Standard 10 they should be constructed so that if removed in the future, the essential form and integrity of a building will be unimpaired.

3.9 Contributing Versus Non-Contributing Buildings

The Old Town Historic District is unusual since it derives its primary significance from its original Spanish grid plan and not from its collection of historic architecture. When Old Town was listed in the National Register in 1990 it was listed as a site, rather than a district. Within the site, only ten buildings were listed

as contributing, while dozens more were included as noncontributing. Contributing buildings are defined in the LDC. Since listing on the National Register, several of these original contributing buildings have been demolished, and none of the existing buildings date to the period of Spanish occupation. Because of the loss of original buildings and the passage of time, a re-survey and update of the district is recommended. New construction and rehabilitation is reviewed in the Old Town Historic District by the Historic District Council (HDC). Non-contributing buildings are reviewed by the HDC with greater flexibility than contributing buildings, but owners are encouraged to preserve and maintain the character of their older buildings.

ANALYSIS:

Staff finds that the proposed changes are not on a highly visible elevation of the home and do not affect any character-defining features of the property. The alteration will utilize the existing exterior doors and relocate them to the new locations at the south and east elevations. The proposed changes could be reversed in the future, without affecting the essential form and integrity of the property. Staff concludes the requested action is consistent with the Land Development Code, the Secretary of the Interior Standards, and the Downtown Historic District Guidelines.

Staff recommends **APPROVAL** of HDC 2016-21.

MOTION TO CONSIDER:

I move to **approve or deny** HDC case number 2016-21;

AND I move that the HDC make the following findings of fact and conclusions of law part of the record:

That HDC case 2016-21, as presented, **is or is not** substantially compliant with the Land Development Code, the Downtown Historic District Guidelines, and the Secretary of the Interior's Standards to warrant approval at this time.

LIST OF EXHIBITS:

- | | |
|------------------|-------------------------------------|
| EXHIBIT 1 | HDC 2016-21 Application |
| EXHIBIT 2 | Elevations |
| EXHIBIT 3 | Photos |
| EXHIBIT 4 | Survey |
| EXHIBIT 5 | FL Master Site File 8NA00700 |

Salvatore J. Cumella
Planner II



APPLICATION FOR HISTORIC DISTRICT COUNCIL COA

OFFICE USE ONLY

REC'D: 7/15/16 BY: [Signature]

PAYMENT: \$ _____ TYPE: _____

APPLICATION #: 2016-0001110

CASE #: 2016-21

BOARD MEETING DATE: Aug. 18, 2016

APPLICANT INFORMATION

Owner Name: Kevin Berry

Mailing Address: _____

Telephone: 501-240-7417 Fax: _____

Email: kberry@adworksinternet.com

Agent Name: Johnson Home Builders Inc

Mailing Address: 910 S 8th St #134, Fernandina Beach

Telephone: 904-583-9456 Fax: _____

Email: office@johnsonhomebuilders.com

PROPERTY INFORMATION

Street Address: 910 San Fernando

Parcel Identification Number(s): 00-00-31-1580-008-0050

Lot Number: 5,7 & 9 or 2050/150 Block Number: 8
Old Town S/D UNR

PROJECT INFORMATION

- STAFF APPROVAL BOARD APPROVAL: CONCEPTUAL _____ OR FINAL _____
- New Construction Demolition
- Additions/Alterations Other: _____

Brief description of work proposed:

Enclose breezeway under roof & remodel inside of house -- add bathroom in storage area already existing -- move 2 exterior doors to end of breezeway & repair exterior using the same lap siding on house.

List proposed materials and colors, as applicable:

Project Scope	Type and Material	Color
Exterior Fabric		
Doors	same doors (2)	
Windows	same window (1)	
Roofing	N/A	
Fascia/Trim	same siding on house	
Foundation	N/A	
Shutters	N/A	
Porch/Deck	N/A	
Fencing	same fencing on back of property	
Driveways/Sidewalks	N/A	
Signage	N/A	
Other		
Other		
Other		

SIGNATURE/NOTARY

The undersigned states the above information is true and correct as (s)he is informed and believes.

7-14-16
Date

[Signature]
Signature of Applicant

Arkansas
STATE OF FLORIDA }
Faulkner^{SS}
COUNTY OF NASSAU }



Subscribed and sworn to before me this 14 day of July, 2016

[Signature]
Notary Public Signature

Jerad Goodman
Printed Name

10/10/25
My Commission Expires

Personally Known _____ OR Produced Identification X ID Produced: AR DL

NASSAU

A. Michael Hickox, CFA, Cert. Res. RD1941
Nassau County Property Appraiser

Property Search

Sales Search

Nassau Home

OWNER NAME BERRY KEVIN & LAINE (H&W) &
MAILING ADDRESS BERRY JERRY & IRIS L (JT/RS)
18 RICHLAND HILLS
CONWAY, AR 72034
LOCATION ADDRESS 910 SAN FERNANDO ST
FERNANDINA BEACH 32034
SHORT LEGAL BLK 8 LOTS 5,7 & 9 IN OR 2050/150 OLD
TOWN S/D UNR

PARCEL NUMBER 00-00-31-1580-0008-0050
TAX DISTRICT FERNANDINA BEACH (DISTRICT 2)
MILLAGE 20.6524
PROPERTY USAGE SINGLE FAMILY
DEED ACRES 0
HOMESTEAD N
PARCEL MAP RECORD [MAP THIS PARCEL](#)
TAX COLLECTOR SEARCH [NASSAU TAX COLLECTOR LINK](#)
PROPERTY RECORD CARD [LINK TO PROPERTY RECORD CARD \(PDF\)](#)

2015 Certified Values

JUST VALUE OF LAND	\$0
LAND VALUE AGRICULTURAL	\$0
TOTAL BUILDING VALUE	\$0
TOTAL MISC VALUE	\$0
JUST OR CLASSIFIED TOTAL VALUE	\$0
ASSESSED VALUE	\$0
EXEMPT VALUE	\$0
TAXABLE VALUE	\$0

Land Information

LAND USE	LAND UNITS	LAND UNIT TYPE	SEC-TWN-RNG
SFR 000100	140	FF	14-3N-28

Building Information

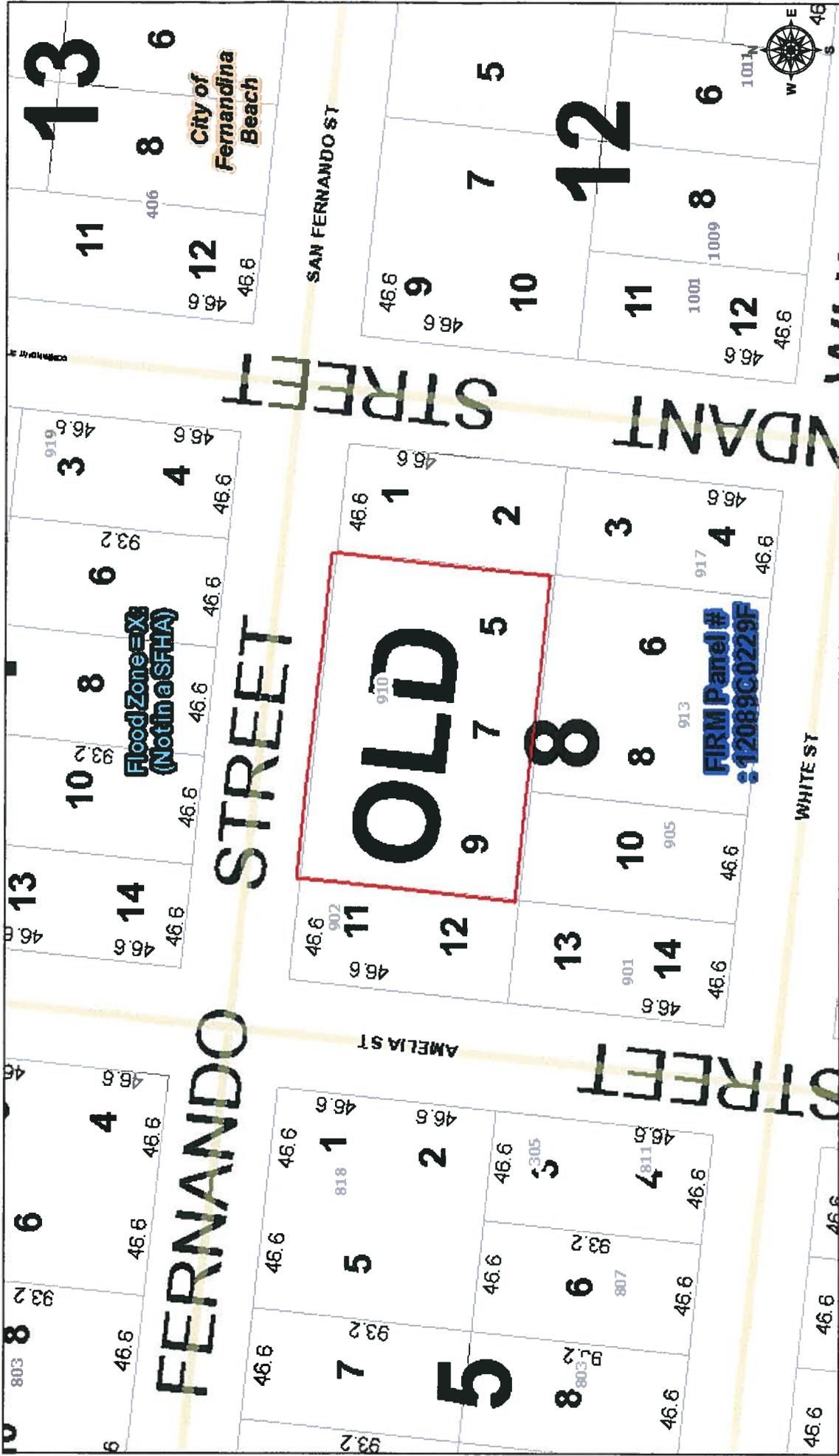
TYPE	TOTAL AREA	HEATED AREA	BED ROOMS	BATHS	PRIMARY EXTERIOR	SECONDARY EXTERIOR	HEATING	COOLING	ACTUAL YEAR BUILT	BUILDING SKETCH
SNGL FAM	2,228	1,613	3	1	ABOVE AVG.	WD SHINGLE	AIR DUCTED	FORCED AIR	1910	SHOW SKETCH

Miscellaneous Information

DESCRIPTION	DIMENSIONS L x W	UNITS	YEAR BUILT
FP-2-DB-AV	0 X 0	1	1910
FP-2-DB-AV	13 X 13	169	1993
WD DECK A	0 X 0	706	1994
WD DECK A	5 X 8	40	1993
QUARY TILE	12 X 14	168	1995

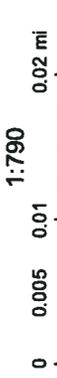
Sales Information

SALE DATE	BOOK / PAGE	BOOK / PAGE	PRICE	INSTRUMENT	QUALIFICATION	IMPROVED? (AT TIME OF SALE)	GRANTOR	GRANTEE
05/31/2016	2050/150	2050/150	219000	WD	Q	Y	HARPER SHANNON & LAURIE BROWN	BERRY KEVIN & LAINE ET AL
08/12/2013	1872/689	1872/689	0	FJ	U	Y	KENYON LESLIE JONATHAN EST	HARPER SHANNON ET AL



July 15, 2016

-  City of F.B. Historic District
-  Flood Zones - Effective Dec. 17th 2010, NAD 1988
-  0.2 PCT ANNUAL CHANCE FLOOD HAZARD
-  A
-  X
-  AE
-  VE



1:790

Sources: Esri, HERE, DeLorme, USGS, InMap, Increment P Corp., NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand), MapmyIndia, © OpenStreetMap contributors, and the GIS User Community

Prepared by:
Andrea F. Lennon, P.A.
961687 Gateway Blvd. Suite 101L
Amelia Island, Florida 32034

File Number: 16-226

General Warranty Deed

Made this May 31, 2016 A.D. By Shannon Harper, a single person and Laurie Brown, a single person, whose respective post office address is: 12703 Ft. Caroline Road, Jacksonville, Florida 32225, hereinafter called the grantor, to Kevin Berry and Laine Berry, husband and wife and Jerry E. Berry and Iris Lavonne Berry, husband and wife as Joint Tenants with Rights of Survivorship, whose post office address is: 18 Richland Hills, Conway, AR 72034, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Nassau County, Florida, viz:

All that certain lot, piece or parcel of land situate, lying and being in the City of Fernandina Beach, (formerly named Fernandina), County of Nassau and State of Florida and being further described according to the official map or plat of said City (as lithographed and issued by the Florida Railroad Company in 1857 and enlarged, revised and reissued by the Florida Town Improvement Company in 1887 and 1901) as:

Lots Five (5), Seven (7), and Nine (9), in Block Eight (8) of OLD TOWN.

Said property is not the homestead of the Grantor(s) under the laws and constitution of the State of Florida in that neither Grantor(s) or any members of the household of Grantor(s) reside thereon.

Parcel ID Number: 00-00-31-1580-0008-0050

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

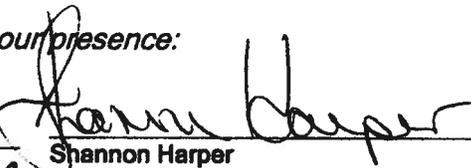
And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2015.

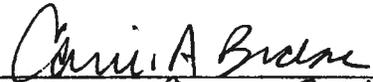
Prepared by:
Andrea F. Lennon, P.A.
961687 Gateway Blvd. Suite 101L
Amelia Island, Florida 32034

File Number: 16-226

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

 (Seal)
Witness
Printed Name: Andrea Lennon Shannon Harper
Address: 12703 Ft. Caroline Road, Jacksonville,
Florida 32225

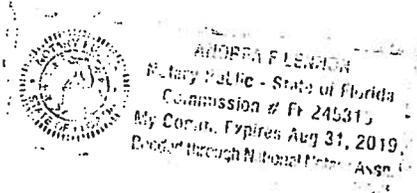
 (Seal)
Witness
Printed Name: Carrie Budds

State of Florida
County of Nassau

The foregoing instrument was acknowledged before me this 16th day of May, 2016, by Shannon Harper, a single person, who is/are personally known to me or who has produced a driver's license as identification.


Notary Public
Print Name: Andrea Lennon

My Commission Expires:



Prepared by:
Andrea F. Lennon, P.A.
961687 Gateway Blvd. Suite 101L
Amelia Island, Florida 32034

File Number: 16-226

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

● Bobby J Fowler
Witness
Printed Name: Bobby J Fowler

● Laurie Brown (Seal)
Laurie Brown
Address: 1601 N. Weber Street, #2 Upper, Colorado Springs, CO 80907

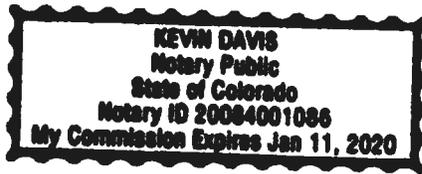
● Jason Brinson
Witness
Printed Name: JASON BRINSON

(Seal)

State of Colorado
County of El Paso

The foregoing instrument was acknowledged before me this 16 day of May, 2016, by Laurie Brown, a single person, who is/are personally known to me or who has produced a driver's license as identification.

● Kevin Davis
Notary Public
Print Name: Kevin Davis
My Commission Expires: 01/11/2020





OWNER'S AUTHORIZATION FOR AGENT REPRESENTATION

Kevin Berry

I /WE _____
(print name of property owner(s))

Johnson Home Builders Inc

hereby authorize: _____
(print name of agent)

to represent me/us in processing an application for: Additions / Alterations
(type of application)

on our behalf. In authorizing the agent to represent me/us, I/we, as owner/owners, attest that the application is made in good faith and that any information contained in the application is accurate and complete.

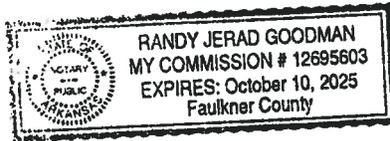
Kevin Berry
(Signature of owner)

(Signature of owner)

KEVIN BERRY
(Print name of owner)

(Print name of owner)

Arkansas
STATE OF ~~FLORIDA~~ }
Faulkner SS }
COUNTY OF ~~NASSAU~~



Subscribed and sworn to before me this 14 day of July, 2016.

Randy Goodman
Notary Public: Signature

Jerad Goodman
Printed Name

10/10/25
My Commission Expires

Personally Known _____ OR Produced Identification X ID Produced: AR DL

B2.0
 SHEET # (2) OF (5)
 PROJECT NAME: 910 SAN FERNANDO ST.
 PROJECT #: 16.06.07
 DRAWN BY: WMD
 CHECKED BY: MGH
 SCALE: 1/4" = 1'-0"
 DATE: 06.30.16

1020 Little Brook Ct.
 Jacksonville, FL 32218
DOWN'S
 DRAFTING & DESIGN LLC
 (904) 536-0857
 downsdraftinganddesign@gmail.com

DOWN'S DRAFTING AND DESIGN LLC IS A DRAFTING SERVICE AND HOLDS NO RESPONSIBILITY IN THE ENGINEERING AND CONSTRUCTION OF ANY PORTION OF BUILDINGS CONSTRUCTED WITH THESE PLANS. IT IS THE RESPONSIBILITY OF THE HOMEOWNER OR CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONSTRUCTION PRIOR TO PROCEEDING WITH CONSTRUCTION. HOMEOWNER OR CONTRACTOR SHALL VERIFY ALL CONSTRUCTION IS PERMITTED AND CODE COMPLIANT WITH ALL LOCAL BUILDING CODES AND OFFICIAL PROCESSES.

OWNER/BUILDER
BERRY RESIDENCE
 PROJECT ADDRESS
**910 SAN FERNANDO ST.
 FERNANDINA BEACH, FL.
 32034**

MICHAEL G. HOLDER
 PE# 16215
 7441-2 SILVER LAKE TERRACE
 JACKSONVILLE, FL 32216
 PHONE: (904) 721-7676
 FAX: (904) 721-7685

Michael G. Holder
 6/30/2016
 ENGINEER OF RECORD

COPYRIGHT 2015 NO REPRODUCTION OF ANY PART OF THESE DRAWINGS, DETAILS OR DESIGN IS AUTHORIZED WITHOUT WRITTEN CONSENT OF DOWN'S DRAFTING AND DESIGN LLC. VIOLATORS ARE SUBJECT TO PENALTIES AND FINES PUNISHABLE BY THE COURT OF LAW.



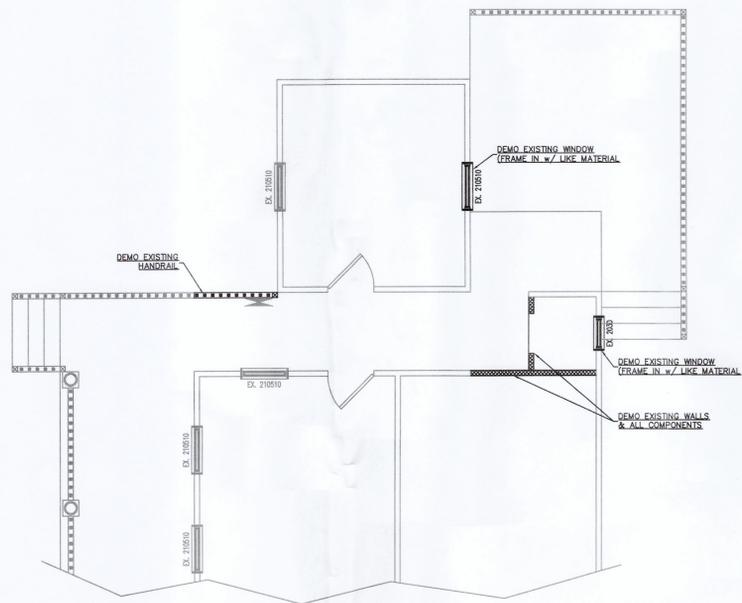
REAR ELEVATION

SCALE: 1/4"=1'



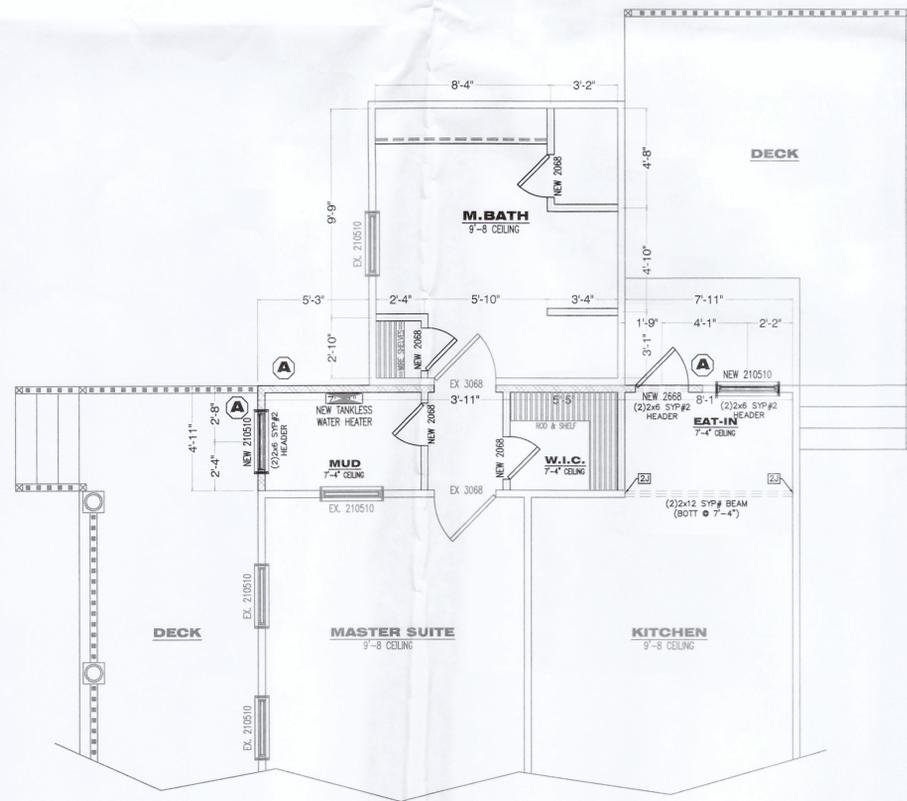
LEFT ELEVATION

SCALE: 1/4"=1'



DEMO PLAN

N.T.S.



FRAMING PLAN

SCALE: 1/4" = 1'

SQUARE FOOTAGE		
AREA	TYPE	FOOTAGE
NEW LIVING	CONDITIONED	104 sq.ft.
NEW A/C		104 sq.ft.
NEW U/R		104 sq.ft.

* NO NEW SQ.FT. ADDED TO EXISTING FOOTPRINT

WALL FRAMING LEGEND		
SYMBOL	WALL SIZE	DESCRIPTION
[Symbol]	8" CMU	8x16 CMU BLOCK WALL
[Symbol]	2x8	SPRUCE PINE FIR #2 (EXTERIOR)
[Symbol]	2x6	SPRUCE PINE FIR #2 (EXTERIOR)
[Symbol]	2x4	SPRUCE PINE FIR #2 (EXTERIOR)
[Symbol]	2x4	SPRUCE PINE FIR #2 (INTERIOR)
[Symbol]	2x4	EXISTING 2x4 WOOD FRAME WALL

* SEE WALL FRAMING DETAIL AND STUD TABLE FOR EXTERIOR STUD SPACING.
 * INTERIOR NON-LOAD BEARING WALL STUDS SHALL BE SPACED @ 24" O.C.

SHEARWALL SCHEDULE			
SYMBOL	TYPE	SHEATHING	NAILING
(A)	2x4 SPF	3/8" OSB (MIN) -BLOCKED-	4" O.C. EDGE & 8" O.C. FIELD
(B)	2x6 SPF	3/8" OSB (MIN) -BLOCKED-	4" O.C. EDGE & 8" O.C. FIELD
(C)	2x8 SPF	3/8" OSB (MIN) -BLOCKED-	4" O.C. EDGE & 8" O.C. FIELD

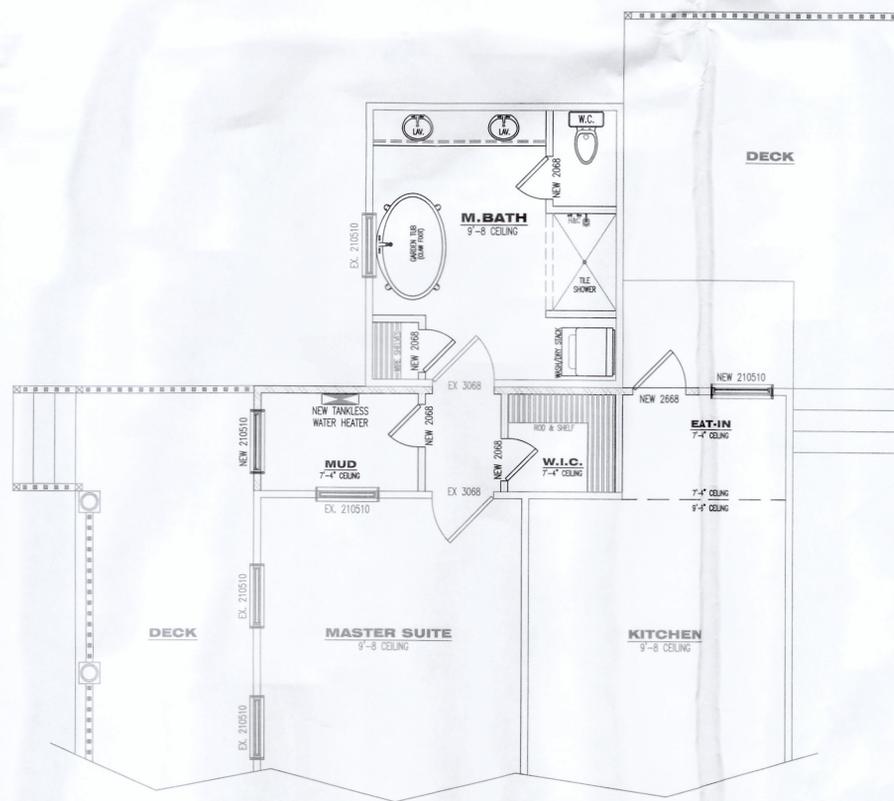
NOTE: ALL EXTERIOR WALLS ARE LOAD BEARING SHEAR WALLS

THE SHEAR WALLS TABLE WAS ESTABLISHED ASSUMING THE FOLLOWING CRITERIA UNLESS OTHERWISE NOTED IN THE TABLE:
 * WOOD SHEATHING TO STUDS NAILING SHALL BE 8d COMMON NAILS.
 * GYPSUM BOARD TO STUDS NAILING SHALL BE 5d AND 6d COLLAR NAILS FOR 1/2" AND 5/8" THICK BOARD RESPECTIVELY.
 * SOLE PLATE-CONCRETE SLAB ANCHORS LOCATED @ 6" (MIN.) EA. SIDE OF PLATE BRK. ANCHOR SHALL BE 3" x 8" EPOXY GROUTED BOLTS.
 * INSTALL ALL-THREAD ROD SYSTEM PER DETAIL.

ELECTRICAL LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	110 - ARC FAULT INTERRUPTER OUTLET	[Symbol]	SURFACE MOUNT FLUORESCENT LIGHT
[Symbol]	110 - GROUND FAULT INTERRUPTER OUTLET	[Symbol]	EXTERNAL FLOOD LIGHT
[Symbol]	110 - WATER PROOF GFI OUTLET	[Symbol]	HEAT LIGHTING
[Symbol]	110 - FLOOR OUTLET (RECESSED)	[Symbol]	SMOKE DETECTOR (CEILING MOUNT)
[Symbol]	110 - DEDICATED OUTLET	[Symbol]	CARBON MONOXIDE DETECTOR (CEILING MOUNT)
[Symbol]	SINGLE POLE SWITCH	[Symbol]	CABLE OUTLET
[Symbol]	MULTIPLE POLE SWITCH	[Symbol]	TELEPHONE OUTLET
[Symbol]	3-WAY SWITCH	[Symbol]	SECURITY PANEL
[Symbol]	CEILING HUNG LIGHT	[Symbol]	DOOR BELL CHIME
[Symbol]	CAN LIGHT (RECESSED)	[Symbol]	DOOR BELL
[Symbol]	RECESSED CEILING FAN (VENT OUTSIDE)	[Symbol]	CEILING HUNG FAN W/ LIGHT (REMOTE)
[Symbol]	WALL MOUNTED LIGHT		
[Symbol]	SUSPENDED LIGHT FIXTURE		

ELECTRICAL NOTES:

- ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE 2011, (NFPA 70)
- ALL ELECTRICAL, TELEPHONE, AND SECURITY WIRES SHALL BE BURIED UNDERGROUND, (PER OWNER)
- ALL EXTERIOR CONDUIT LINES SHALL BE LOCATED PER OWNER FOR SECONDARY STRUCTURES.
- ALL SECURITY CAMERAS, MONITORS, AND WIRES SHALL BE LOCATED PER OWNER.
- ALL INTERNET / TELEVISION CABLE WIRING TYPES AND LOCATIONS SHALL BE SPECIFIED BY OWNER.



ELECTRICAL PLAN

SCALE: 1/4" = 1'

B3.0

SHEET # (3) OF (5)
 PROJECT NAME: 910 SAN FERNANDO ST.
 PROJECT #: 16.06.07
 DRAWN BY: WMD
 CHECKED BY: MGH
 SCALE: 1/4" = 1'-0"
 DATE: 06.30.16



DOWNS DRAFTING AND DESIGN LLC IS A DRAFTING SERVICE AND HOLDS NO RESPONSIBILITY IN THE ENGINEERING AND CONSTRUCTION OF ANY PORTION OF BUILDINGS CONSTRUCTED WITH THESE PLANS. IT IS THE RESPONSIBILITY OF THE HOMEOWNER OR CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONSTRUCTION PRIOR TO PROCEEDING WITH CONSTRUCTION. HOMEOWNER OR CONTRACTOR SHALL VERIFY ALL CONSTRUCTION IS PERMITTED AND CODE COMPLIANT WITH ALL LOCAL BUILDING CODES AND OFFICIAL PROCESSES.

OWNER/BUILDER

**910 SAN FERNANDO ST
 FERNANDINA BEACH, FL.
 32034**

MICHAEL G. HOLDER
 PE# 16215

7441-2 SILVER LAKE TERRACE
 JACKSONVILLE, FL 32216
 PHONE: (904) 721-7676
 FAX: (904) 721-7685



ENGINEER OF RECORD

COPYRIGHT 2015 NO REPRODUCTION OF ANY PART OF THESE DRAWINGS, DETAILS OR DESIGN IS AUTHORIZED WITHOUT WRITTEN CONSENT OF DOWNS DRAFTING AND DESIGN LLC. VIOLATORS ARE SUBJECT TO PENALTIES AND FINES PUNISHABLE BY THE COURT OF LAW.

CONSTRUCTION NOTES

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES.
 - ALL SITE WORK AND LANDSCAPING SHALL BE ESTABLISHED AND DESIGNED BY OTHERS.
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK AND FOR INITIATION, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK HEREIN.
 - ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO CONSTRUCTION AND DISCREPANCIES SHALL BE REPORTED BY THE CONTRACTOR TO THE ENGINEER PRIOR TO ORDERING MATERIAL AND PROCEEDING WITH THE WORK. ANY OMISSIONS OR INCONSISTENCIES ON THESE DRAWINGS OR ANY VARIATION OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING AND RESOLVED AND DOCUMENTED IN WRITING BEFORE CONTINUING OF WORK IN QUESTION.
 - IN THE EVENT A DISCREPANCY IS FOUND IN THESE CONTRACT DOCUMENTS THE ENGINEER, CONTRACTOR, AND OWNER SHALL BE CONTACTED IMMEDIATELY.
 - ALL WORK AND EQUIPMENT SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER BEFORE TURNING SAME OVER TO OWNERS.
 - THE GENERAL BUILDING PERMIT(S) SHALL BE OBTAINED AND PAID FOR BY THE OWNER OR CONTRACTOR.
 - THERE SHALL BE NO DEVIATION FROM SPECIFICATIONS WITHOUT THE WRITTEN APPROVAL OF THE CONTRACTOR AND ENGINEER.
 - DRYWALL INSTALLATION SHALL BE IN CONFORMANCE WITH THE GYPSUM ASSOCIATIONS RECOMMENDED PRACTICES FOR THICKNESS, NAILING, TAPING AND STUD SPACING.
 - ALL FRAMING TO BE IN ACCORDANCE WITH THE LOCAL BUILDING CODE.
 - ALL LUMBER SHALL BE GRADED AND MARKED PER PLAN NOTES AND DETAILS.
 - UPON COMPLETION OF ALL WORK REMOVE ALL TOOLS, EQUIPMENT, TEMPORARY PROTECTION, AND EXCESS MATERIAL FROM THE SITE. CLEAN/POLISH ALL HARDWARE AND FIXTURES, CLEAN/REMOVE ALL PAINT DRIPS/SPLATTERS AND STAINS, REMOVE ALL APPLIANCE PROTECTIONS AND LEAVE INTERIOR AREA BROOM CLEAN, FREE OF STAINS, FILM AND FOREIGN SUBSTANCES.
 - ALL MATERIAL FINISH AND COLOR SELECTIONS SHALL BE DETERMINED BY CONTRACTOR OR OWNER PRIOR TO INSTALLATION.
 - THE CONTRACTOR SHALL BEAR RESPONSIBILITY FOR, AND SHALL REPAIR ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES, PIPING, CONDUIT OR EQUIVALENT.
 - ALL MATERIAL SHALL BE APPROVED BY CODE AND SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURERS INSTRUCTIONS AND/OR RECOMMENDATIONS.

- CONSTRUCTION NOTES:**
- NO FRAMING AT ANY TIME IS TO BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AUTHORITIES.
 - ALL STUD WALLS DIMENSIONS ARE 3'-2", 5'-2", OR 7'-2" (UOM)
 - ALL PLUMBING WALLS SHALL BE FRAMED WITH 2X6 OR 2X8 STUDS (UOM)
 - REFER TO FLOOR PLANS FOR LOCATION OF 2X6 WALLS, REFER TO STRUCTURAL DRAWINGS FOR UNUSUAL OR SPECIAL FRAMING CONDITIONS.
 - ALL PATIOS, PORCHES, AND BALCONIES ARE TO BE SLOPED MIN. 1/4" PER 1'-0" IN DIRECTION INDICATED OR TO EXTERIOR.
 - ROOFING SHALL BE CLASS-C OR BETTER, INSTALL PER MANUFACTURERS RECOMMENDATIONS.
 - ALL WOOD SILLS IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED AND HAVE A CONTINUOUS SILL SEALER. PROVIDE TERMITE SHIELD AT CONCEALED UNDER FLOOR SPACES.
 - ALL CHIMNEY'S SHALL BE TERMINATED 2'-0" MINIMUM HEIGHT ABOVE A POINT MEASURED 10'-0" HORIZONTALLY FROM THE NEAREST BUILDING OR ROOF.
 - WATER RESISTANCE 1/2" CERAMIC TILE BACK BOARD SHALL BE INSTALLED IN BOTH TUB AND SHOWER SURROUNDINGS.
 - FLASHING SHALL BE INSTALLED AROUND ALL WINDOWS AND ROOF OPENINGS AND AT THE INTERSECTIONS OF CHIMNEYS, WOOD CONSTRUCTION AND FRAME WALLS TO MAKE WEATHER TIGHT.
 - CAULK ALL EXTERIOR JOINTS, AROUND WINDOWS, AND DOOR FRAMING. CAULK BETWEEN WALL CAVITIES AND WINDOW/DOOR FRAMES, BETWEEN WALL TERMINATION AND FOUNDATION.
 - ALL WALL STUD SHALL BE SPPF2 SPACED PER PLAN, ALL SOLE PLATES SHALL BE PRESSURE TREATED MATERIAL, ALL TOP PLATE SHALL BE HARD PINE MATERIAL PER F.B.C.
 - ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED MATERIAL.

- CONCRETE NOTES:**
- ALL CONCRETE WORK SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2014
 - ALL CONCRETE SLABS SHALL HAVE A MINIMUM DEPTH OF 4" THICK AND 3" COVERAGE OVER ANY REBAR.
 - ALL CONCRETE SLABS SHALL HAVE MINIMUM OF 2500 PSI RATING.
 - ALL CONCRETE SLABS SHALL CONTAIN FIBERMESH REINFORCEMENT OR 6X6 W.W.M. PLACED OVER 6" MIL POLYETHYLENE VAPOR BARRIER ON CLEAN SOIL.
 - SITE WORK SOIL SHALL BE CLEAN TERMITE TREATED SOIL WITH MINIMUM DENSITY COMPACTION OF 95%.
 - CONTRACTOR SHALL VERIFY ALL PIPING, CONDUIT, PLUMBING, OR LINES BELOW SLAB PRIOR TO CONSTRUCTION.
 - VERIFY, LOCATE, AND PROVIDE ALL INTERIOR LOAD BEARING FOOTINGS IN COORDINATION WITH TRUSS ENGINEERING PLAN REQUIREMENTS AND SPECIFICATIONS FOR LOAD BEARING WALLS.
 - STRUCTURE FINISH FLOOR ELEVATION AND PRESSURE TREATED SILL PLATE SHALL BE A MINIMUM OF 8" ABOVE GRADE.
 - ALL CONCRETE SIDEWALKS, BARRIERS, AND PARKING IS NOT SHOWN ON PLANS FOR CLARITY.

- ELECTRICAL NOTES:**
- ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE 2011. (NFPA70)
 - ALL ALL RECEPTACLES IN BATHROOM , GARAGES, OR OUTDOORS SHALL BE PROTECTED BY A GROUND FAULT CIRCUIT INTERRUPTION SYSTEM (GFCI) AND AS NOTED ON THE DRAWINGS.
 - OUTLET BOXES IN WALLS BETWEEN LIVING AREA AND THE GARAGE SHALL BE METAL OR ULJ APPROVED PLASTIC.
 - RECEPTACLES SHALL BE SPACED ALONG WALLS IN ACCORDANCE WITH CODE SO THAT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6'-0" FROM ANY OUTLET. NO SPACES FURTHER THAN 12'-0" UNLESS OTHERWISE NOTED OR PER ANY SPECIFIC CODES.
 - SWITCH PLATES SHALL BE PLACED AT 42" ABOVE FINISH FLOOR ELEVATION TO CENTER OF SWITCH (TYP.)
 - ALL LIGHTING FIXTURES LOCATED IN CLOSETS OR STORAGE AREAS SHALL BE LOCATED A MINIMUM OF 18" FROM ALL SHELVING.
 - ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE 15 AND 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.
 - SMOKE DETECTORS SHALL BE PLACED NO MORE THAN 12" FROM C.L.G. 3'-0" FROM DUCT OPENINGS, AND 10'-0" FROM INSIDE AND OUTSIDE OF DWELLING SLEEPING UNITS.
 - CARBON MONOXIDE DETECTORS SHALL BE PRESENT WITH IN 10'-0" OF THE EXTERIOR SIDE OF ANY SLEEPING COMPARTMENT DOOR IF A RESIDENCE HAS AN ATTACHED GARAGE OR GAS APPLIANCES.
 - PROVIDE A DISCONNECT SWITCH FOR A/C AIR HANDLER OR COMPRESSOR AS REQUIRED BY F.B.C.

- ROOF NOTES:**
- ALL ROOFING MATERIAL SHALL MEET CHAPTER 15 OF THE 2014 FLORIDA BUILDING CODE AND THE 2014 FLORIDA RESIDENTIAL CODE, CHAPTER 9.
 - ALL ROOF VENTS SHALL & PLUMBING STACKS SHALL EXIT AT THE REAR OF ROOF.
 - ALL BATH VENTS SHALL TERMINATE TO OUTSIDE AIR w/ GRILL OR SCREEN, THROUGH EAVE.
 - ALL ROOF SHEATHING SHALL BE ATTACHED WITH 8d RING SHANK NAILS 6" O.C. EDGE & 6" O.C. FIELD
 - VENTILATION FOR GABLE AND HIPPED ROOFS PER F.B.C. SECTION R806: VENTILATION SHALL BE PROVIDED TO FURNISH CROSS VENTILATION OF EACH INDIVIDUAL ATTIC SPACE WITH WEATHER PROTECTED VENTS. ALL VENTS SHALL BE SCREENED TO PROTECT THE INTERIOR FROM INTRUSION OF BIRDS.
 - THE RATION TOTAL NET FREE VENTILATING AREA TO THE ARE OF THE CEILING SHALL NOT BE LESS THAN 1/150, THAT RATIO MAY BE REDUCED TO 1/200 PROVIDED: 1) A VAPOR BARRIER RETARDANT HAVING A PERFORMANCE NOT EXCEEDING 1 PERM INSTALLED ON THE WARM SIDE OF THE CEILING, OR 2) AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING ARE IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED. (AT LEAST 3 FT (914mm) ABOVE EAVE OR CORNICE VENT) WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. INDICATE LOCATION OR VENT AREA AND REQUIRED.
 - FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE ENTERING THE WALL AND ROOF THROUGH JOINTS AND COPINGS, THROUGH MOISTURE PERMEABLE MATERIAL, AND THE INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE PER F.B.C. SECTION R903.2
 - FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTION, WHEREVER THERE IS A CHANCE ROOF SLOPE AND DIRECTION AND AROUND ROOF OPENINGS, WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT WITH A THICKNESS NOT LESS THAN PROVIDED IN TABLE 903.1 PER F.B.C. SECTION R903.2.1.
 - ALL MEMBRANE FLASHING SHALL BE INSTALLED ACCORDING TO THE ROOF ASSEMBLY MANUFACTURE PUBLISHED LITERATURE PER F.B.C. SECTION R903.2.2.

PROJECT OVERVIEW

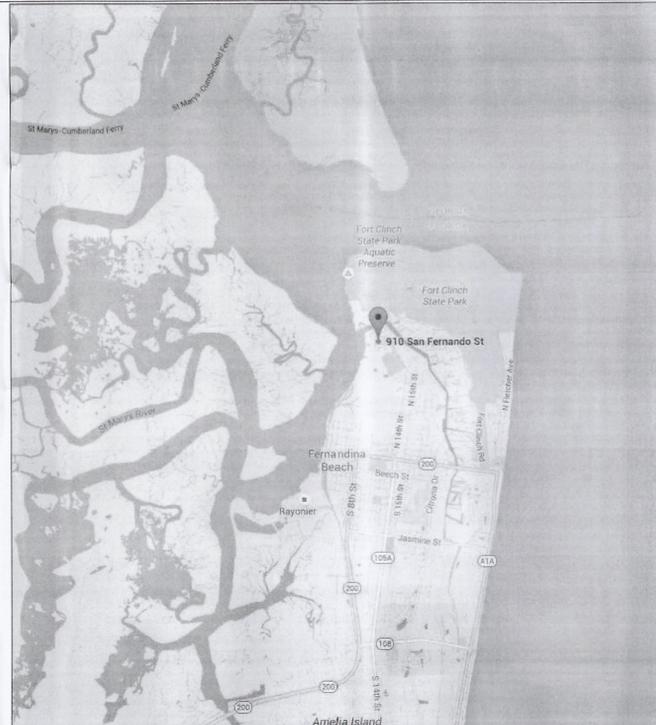
PROJECT OWNER BERRY RESIDENCE

PROJECT CONTRACTOR / BUILDER JOHNSON HOME BUILDERS

PROJECT DESIGN PROFESSIONAL MICHAEL G. HOLDER INC.(P.E.)

PROJECT ADDRESS 910 SAN FERNANDO ST. FERNANDINA BEACH, FL. 32034

VICINITY MAP



CODE SUMMARY

- * FLORIDA BUILDING CODE - 2014
- * FLORIDA RESIDENTIAL BUILDING CODE - 2014
- * FLORIDA MECHANICAL CODE - 2014
- * FLORIDA PLUMBING CODE - 2014
- * FLORIDA BUILDING CODE ENERGY CONSERVATION - 2014
- * NATIONAL ELECTRICAL CODE - 2011 (NFPA 70)

DESIGN CRITERIA

* BASIC WIND SPEED (3 SECOND GUST) -	130
* WIND EXPOSURE CATEGORY -	C
* BUILDING CATEGORY -	II
* WIND IMPORTANCE FACTOR -	1.0
* INTERNAL PRESSURE COEFFICIENT -	+/- .18
* LEVEL OF ALTERATION (IF APPLICABLE) -	LEVEL-2

COMPONENT & CLADDING (P.S.F.) - END ZONE: 3

SIZE (S.F.)	END ZONE (5)		INTERIOR ZONE (4)	
	POS. +	NEG. -	POS. +	NEG. -
0-20	30.4	40.7	30.4	33
20-50	29	38	29	31.6
50-100	27.2	34.3	27.2	29.8
>100	25.9	31.6	25.9	28.4

NOTE: THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH AND MEETS ALL REQUIREMENTS OF SECTION 1609 OF THE 2014 FLORIDA BUILDING CODE

PROJECT INFO

* NEW CONDITIONED SPACED -	104 sq.ft.
* NEW UNCONDITIONED SPACE -	0 sq.ft.
* NEW UNENCLOSED SPACE -	0 sq.ft.
* LOT SIZE (ACRE) -	0 acres
* TYPE OF CONSTRUCTION -	VB
* OCCUPANCY CATEGORY -	R3
* SPRINKLED	NO
* MAX HEIGHT OF STRUCTURE -	35'-0"
* NUMBER OF STORIES -	1

PLAN INDEX

COVER SHEET / PROJECT INFORMATION	C1.0
FRONT & REAR ELEVATIONS	B2.0
FRAMING & ELECTRICAL PLAN	B3.0
STRUCTURAL DETAILS	D4.0
FLASHING DETAILS	D4.1

SCOPE OF WORK

- * FRAME-IN EXISTING DECK AREA
- * REMODEL MASTER BATH AREA

C1.0

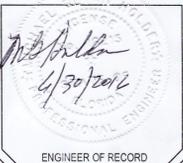
SHEET #:
PROJECT NAME: 910
SAN FERNANDO ST.
PROJECT #: 16.06.07
DRAWN BY: WMD
CHECKED BY: MGH
SCALE: 1/4" = 1'-0"
DATE: 06.30.16



DOWNS DRAFTING AND DESIGN LLC IS A DRAFTING SERVICE AND HOLDS NO RESPONSIBILITY IN THE ENGINEERING AND CONSTRUCTION OF ANY PORTION OF BUILDINGS CONSTRUCTED WITH THESE PLANS. IT IS THE RESPONSIBILITY OF THE HOMEOWNER OR CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONSTRUCTION PRIOR TO PROCEEDING WITH CONSTRUCTION. HOMEOWNER OR CONTRACTOR SHALL VERIFY ALL CONSTRUCTION IS PERMITTED AND CODE COMPLIANT WITH ALL LOCAL BUILDING CODES AND OFFICIAL PROCESSES.

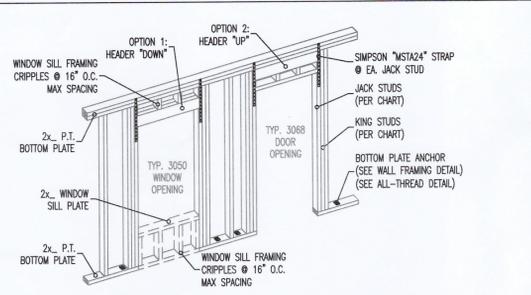
OWNER / BUILDER
BERRY RESIDENCE
PROJECT ADDRESS
**910 SAN FERNANDO ST
FERNANDINA BEACH, FL.
32034**

MICHAEL G. HOLDER
PE# 16215
7441-2 SILVER LAKE TERRACE
JACKSONVILLE, FL. 32216
PHONE: (904) 721-7676
FAX: (904) 721-7685



COPYRIGHT 2015 NO REPRODUCTION OF ANY PART OF THESE DRAWINGS, DETAILS OR DESIGN IS AUTHORIZED WITHOUT WRITTEN CONSENT OF DOWNS DRAFTING AND DESIGN LLC. VIOLATORS ARE SUBJECT TO PENALTIES AND FINES PUNISHABLE BY THE COURT OF LAW.

ENGINEER OF RECORD

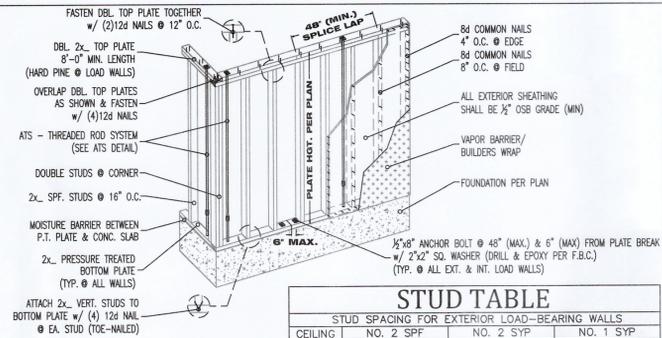


- HEADER NOTES:**
1. ALL HEADERS SHALL BE SYP#2 GRADE OR EQUIVALENT.
 2. SEE MULTIPLE PLY MEMBER DETAIL FOR NAILING SPECIFICATIONS.
 3. SEE WALL FRAMING DETAIL FOR BOTTOM PLATE ANCHOR.
 4. SEE ALL THREAD DETAIL FOR OPTIONAL BOTTOM PLATE ANCHOR.
 5. HEADER HEIGHT SHALL BE DETERMINED BY DOOR SPECIFICATIONS.

HEADER SPAN CHART			
HDR. SIZE	SPAN	# OF JACKS	# OF KINGS
(2)2X6	3'-0"	1	2
(2)2X8	6'-0"	2	2
(2)2X10	9'-0"	2	2
(2)2X12	12'-0"	3	2

HEADER DETAIL

N.T.S.

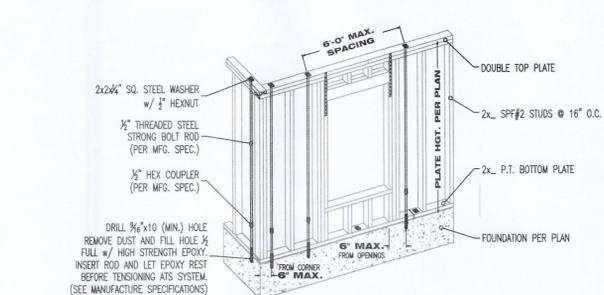


- FRAMING NOTES:**
1. ALL BOTTOM PLATES SHALL BE PRESSURE TREATED MATERIAL.
 2. ALL WALL STUDS SHALL SPRUCE PINE FR #2 MATERIAL.
 3. LOAD BEARING DOUBLE TOP PLATE SHALL BE HARD PINE MATERIAL.
 4. ALL INTERIOR NON-LOAD BEARING WALL SHALL BE FASTENED TO CONC. SLAB @ 0.145"x2" SHOT PIN OR EQUIVALENT.

STUD TABLE			
CEILING HEIGHT	NO. 2 SYP#2	NO. 2 SYP#1	NO. 1 SYP#1
9 FT.	2x4	2x6	2x4
10 FT.	2x4	2x6	2x4
11 FT.	N/A	2x6	N/A
12 FT.	N/A	2x6	N/A
13 FT.	N/A	2x6	N/A
14 FT.	N/A	2x6	N/A

WALL FRAMING DETAIL

N.T.S.



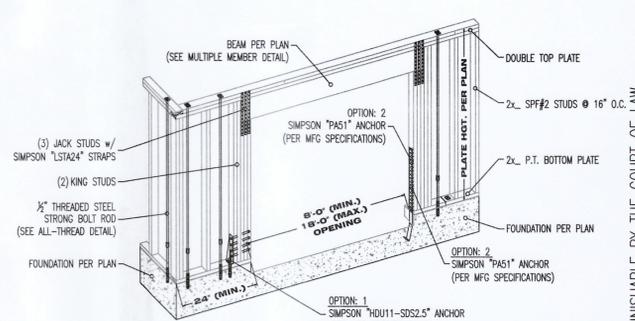
- FRAMING NOTES:**
1. ATS ROD MAY SUBSTITUTE FOR 1/2\"/>

PLAN LEGEND

- ⊙ = (1) STORY ROD
- ⊗ = (2) STORY ROD
- ⊙ = (1) STORY ROD
- ⊗ = (2) STORY ROD

ALL-THREAD ROD SYSTEM DETAIL

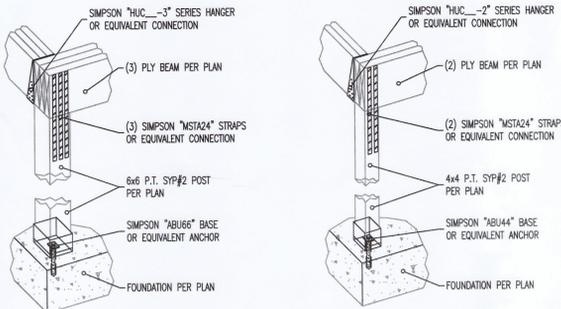
N.T.S.



- GARAGE DOOR NOTES:**
1. GARAGE DOOR WALL STUDS SHALL BE 2x6 (MIN.).
 2. INSTALL ATS ROD SYSTEM PER ALL-THREAD DETAIL.
 3. ALL ANCHOR INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE MANUFACTURE SPECIFICATIONS.
 4. EPOXY TYPE AND USAGE SHALL COMPLY WITH THE F.B.C. (SEE MANUFACTURE SPECIFICATIONS).

GARAGE DOOR DETAIL

N.T.S.



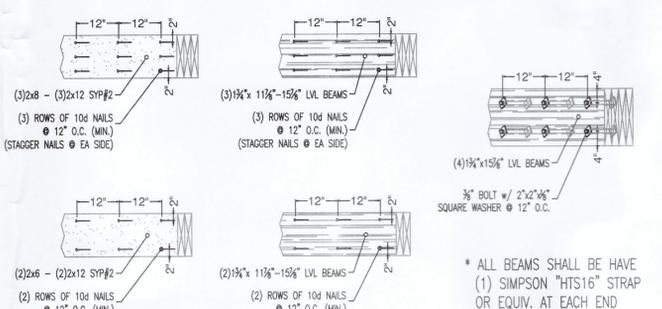
6x6 POST

4x4 POST

- POST NOTES:**
1. ALL HARDWARE PRODUCTS ARE SIMPSON STRONG TIE - ALL HARDWARE SHALL BE INSTALLED PER MANUFACTURE SPECIFICATIONS.
 2. ALL HARDWARE CAN BE SUBSTITUTED BY OTHER HARDWARE MANUFACTURERS. (MUST HAVE EQUIVALENT LOAD APPLICATION - BY OTHERS)
 3. HARDWARE THAT IS GOING TO BE EXPOSED TO EXTERIOR ELEMENTS MUST HAVE CORROSION RESISTANT COATING.
 4. USE MANUFACTURE RECOMMENDATIONS TO ACHIEVE PROPER UTILIZATION OF HARDWARE.

POST DETAIL

N.T.S.



SOLID SAWN LUMBER

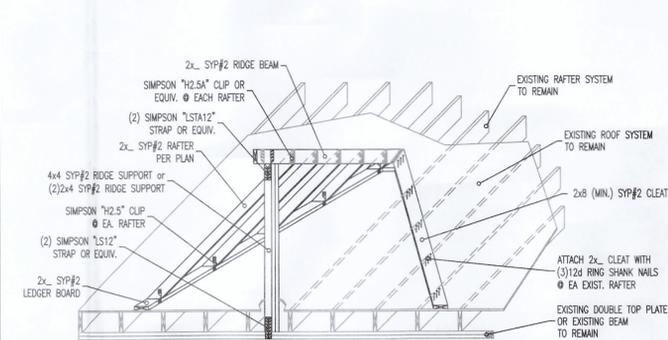
LVL BEAMS

4-PLY MEMBERS

- MULTI-PLY MEMBER NOTES:**
1. ALL ROOF MATERIAL APPLICATION SHALL COMPLY WITH F.B.C. 2014 AND MANUFACTURE SPECIFICATIONS.
 2. EXISTING ROOFING MATERIAL SHALL BE REMOVED DOWN TO WATER BARRIER / FELT PAPER.
 3. ALL LUMBER USED IN OVER FRAMING SHALL BE SYP#2 GRADE (MIN.).

MULTI-PLY MEMBER DETAIL

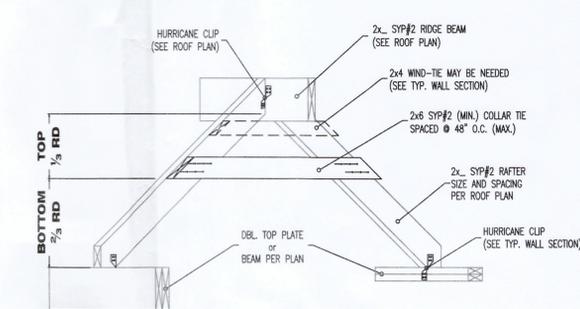
N.T.S.



- ROOF OVER FRAMING NOTES:**
1. ALL ROOF MATERIAL APPLICATION SHALL COMPLY WITH F.B.C. 2014 AND MANUFACTURE SPECIFICATIONS.
 2. EXISTING ROOFING MATERIAL SHALL BE REMOVED DOWN TO WATER BARRIER / FELT PAPER.
 3. ALL LUMBER USED IN OVER FRAMING SHALL BE SYP#2 GRADE (MIN.).

ROOF OVER FRAME DETAIL

N.T.S.



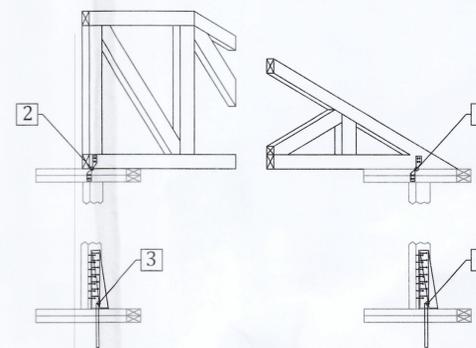
- COLLAR TIE NOTES:**
1. 2x6 SYP#2 (MIN.) COLLAR TIE SHALL BE FASTENED TO RAFTER W/ (6) 12d NAILS TYP. @ EA. END.
 2. COLLAR TIE SHALL BE PLACED IN THE TOP 1/2 OF THE RAFTER BEARING SPAN WITH THE INTENT TO PREVENT RIDGE SAGGING.
 3. 2x4 WIND-TIE USAGE SHALL BE SPECIFIED IN THE TYPICAL WALL SECTION WITH THE INTENT TO PREVENT RIDGE SAGGING.
 4. ALL HURRICANE CLIPS, RAFTERS, AND RIDGE BEAM SPECIFICATIONS WILL BE FOUND ON THE ROOF PLAN AND/OR THE TYPICAL WALL SECTION.

COLLAR TIE DETAIL

N.T.S.

TRUSS FASTENERS

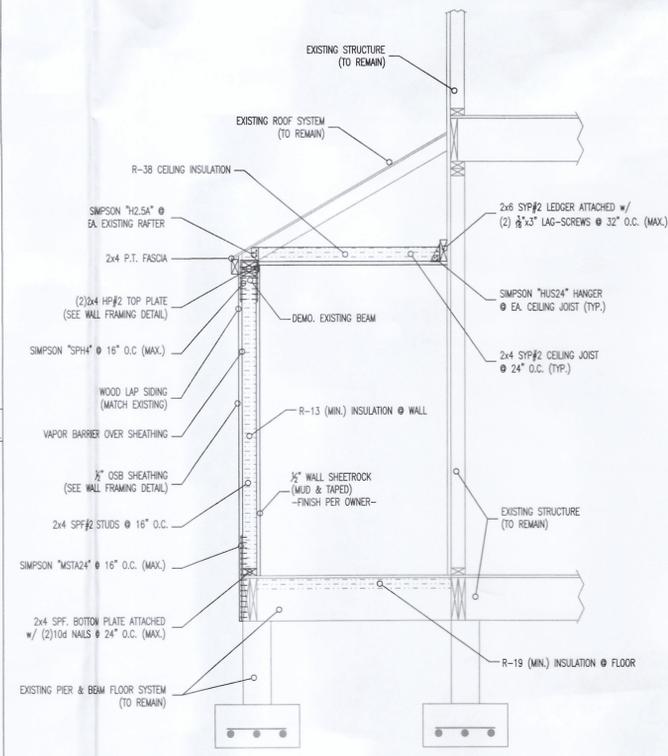
1. GIRDER TRUSS STRAPPING - BOTTOM CHORD
 - 0-400# _____ H2.5
 - 400#-800# _____ (2) H2.5
 - 800#-1200# _____ H16
 - 1200-1700# _____ LGT2 (2 PLY)
 - 1700#-6400# _____ HGT2 (2 PLY)
2. GIRDER TRUSS STRAPPING - VERTICAL NODE
 - 0-400# _____ H2.5
 - 400#-1200# _____ LST24
 - 1200#-2800# _____ (2) MSTA24
 - 2800#-6600# _____ HST3
 - 6600#-13300# _____ HST6
3. GIRDER TRUSS STRAPPING - ANCHORING
 - 0-5600# _____ HDU8-SDS2.5
 - 5600#-8000# _____ HDU11-SDS2.5
 - 8000#-10000# _____ HDU14-SDS2.5



- TRUSS ANCHOR NOTES:**
1. ALL HARDWARE PRODUCTS ARE SIMPSON STRONG TIE - ALL HARDWARE SHALL BE INSTALLED PER MANUFACTURE SPECIFICATIONS.
 2. ALL HARDWARE CAN BE SUBSTITUTED BY OTHER HARDWARE MANUFACTURERS. (MUST HAVE EQUIVALENT LOAD APPLICATION - BY OTHERS)
 3. HARDWARE THAT IS GOING TO BE EXPOSED TO EXTERIOR ELEMENTS MUST HAVE CORROSION RESISTANT COATING.
 4. USE MANUFACTURE RECOMMENDATIONS TO ACHIEVE PROPER UTILIZATION OF HARDWARE.

TRUSS ANCHOR DETAIL

N.T.S.



- WALL SECTION NOTES:**
1. ALL HARDWARE PRODUCTS ARE SIMPSON STRONG TIE - ALL HARDWARE SHALL BE INSTALLED PER MANUFACTURE SPECIFICATIONS.
 2. ALL HARDWARE CAN BE SUBSTITUTED BY OTHER HARDWARE MANUFACTURERS. (MUST HAVE EQUIVALENT LOAD APPLICATION - BY OTHERS)
 3. HARDWARE THAT IS GOING TO BE EXPOSED TO EXTERIOR ELEMENTS MUST HAVE CORROSION RESISTANT COATING.
 4. USE MANUFACTURE RECOMMENDATIONS TO ACHIEVE PROPER UTILIZATION OF HARDWARE.

TYP. WALL SECTION

N.T.S.

D4.0
 SHEET # (4) OF (5)
 PROJECT NAME: 910 SAN FERNANDO ST.
 PROJECT #: 16-08-07
 DRAWN BY: WMD
 CHECKED BY: MGH
 SCALE: 1/4" = 1'-0"
 DATE: 06.30.16

DOWN'S
 DRAFTING & DESIGN LLC
 1020 Little Brook Ct.
 Jacksonville, FL 32218
 (904) 536-0857
 downsdraftingdesign@gmail.com

DOWN'S DRAFTING AND DESIGN LLC IS A DRAFTING SERVICE AND HOLDS NO RESPONSIBILITY IN THE ENGINEERING AND CONSTRUCTION OF ANY PORTION OF BUILDINGS CONSTRUCTED WITH THESE PLANS. IT IS THE RESPONSIBILITY OF THE HOMEOWNER OR CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONSTRUCTION PRIOR TO PROCEEDING WITH CONSTRUCTION. HOMEOWNER OR CONTRACTOR SHALL VERIFY ALL CONSTRUCTION IS PERMITTED AND CODE COMPLIANT WITH ALL LOCAL BUILDING CODES AND OFFICIAL PROCESSES.

OWNER/BUILDER
BERRY RESIDENCE
 910 SAN FERNANDO ST.
 FERNANDINA BEACH, FL. 32034

PROJECT ADDRESS

MICHAEL G. HOLDER
 PE# 16215
 7441-2 SILVER LAKE TERRACE
 JACKSONVILLE, FL 32216
 PHONE: (904) 721-7676
 FAX: (904) 721-7685

ENGINEER OF RECORD
 4/30/2016

COPYRIGHT 2015 NO REPRODUCTION OF ANY PART OF THESE DRAWINGS, DETAILS OR DESIGN IS AUTHORIZED WITHOUT WRITTEN CONSENT OF DOWN'S DRAFTING AND DESIGN LLC. VIOLATORS ARE SUBJECT TO PENALTIES AND FINES PUNISHABLE BY THE COURT OF LAW.





















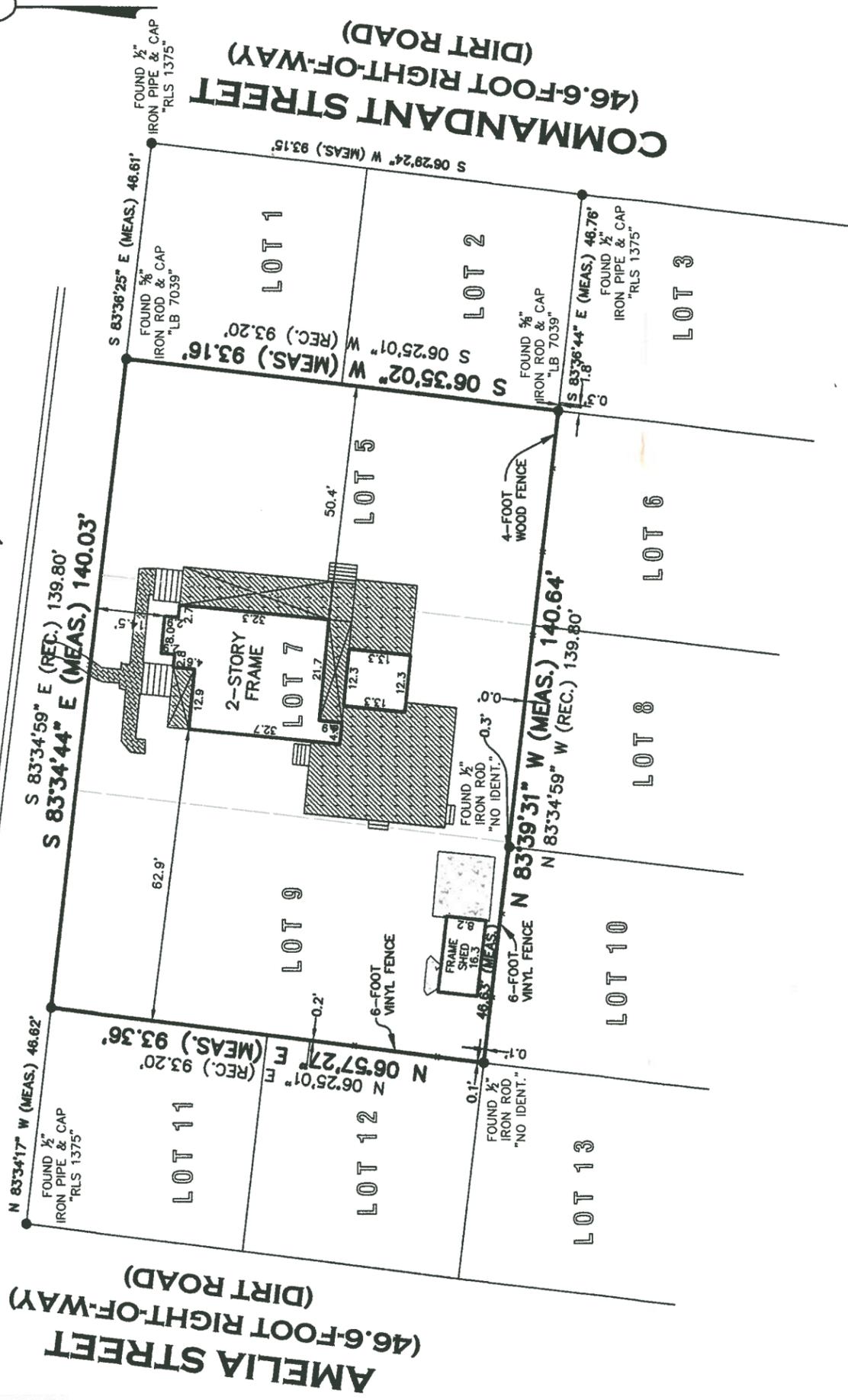
MAP OF BOUNDARY SURVEY

ALL OF THOSE CERTAIN LOTS, PIECES OR PARCELS OF LAND, SITUATE, LYING AND BEING IN THE COUNTY OF NASSAU AND THE STATE OF FLORIDA, KNOWN AND DESCRIBED AS:

LOTS FIVE (5), SEVEN (7), AND NINE (9) OF BLOCK EIGHT (8), OLD TOWN, ACCORDING TO THE OFFICIAL MAP OF THE CITY OF FERNANDINA BEACH, NASSAU COUNTY, FLORIDA (AS LITHOGRAPHED AND ISSUED BY THE FLORIDA RAILROAD COMPANY IN 1857 AND ENLARGED, REVISED AND REISSUED BY THE FLORIDA TOWN IMPROVEMENT COMPANY IN 1887 AND 1901).

**SAN FERNANDO STREET
(46.6-FOOT RIGHT-OF-WAY
(DIRT ROAD))**

PROPERTY ADDRESS:
910 SAN FERNANDO STREET



SURVEY NOTES:

- 1) The "Legal Description" hereon is in accord with the description provided by the client.
- 2) Underground improvements were not located or shown.
- 3) Lands shown hereon were not abstracted by this office for easements, rights-of-way, ownership or other instruments of record.
- 4) Bearings based on S 83°34'59" E for the Southerly Right-of-Way Line of San Fernando Street, (Assumed).
- 5) Fence ownership, if applicable, has not been determined by this office. Fences are drawn out of scale in order to accentuate their relationship to property lines. Fences are not deemed to be encroachments unless ownership is apparent.
- 6) "Unless it bears the COLOR signature and the original raised seal of a Florida licensed surveyor and mapper, this map/report is for informational purposes only and is not valid.
- 7) The property shown hereon lies within flood zone "X" as per F.E.M.A. Flood Insurance Rate Map, Panel 12089C0229E. Dated 12/17/2010.
- 8) Unless otherwise noted Measured angles and distances are the same as Plat or Deed angles and distances.
- 9) Notice of Liability: This Survey is certified to those individuals shown on the face thereof. Any other use, benefit or reliance by any other party is strictly prohibited and restricted. The Surveyor is responsible only to those certified and hereby disclaims any other liability and hereby restricts the rights of any other individual or firm to use this survey without the express written consent of the Surveyor.

PREPARED FOR:
KEVIN BERRY / LAINE BERRY / JERRY E. BERRY / IRIS LAVONNE BERRY
FOR THE BENEFIT OF:
MORTGAGE

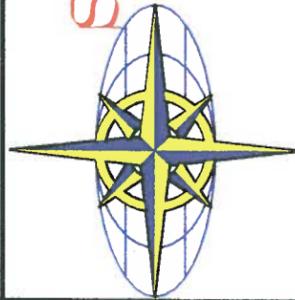
ANDREA F. LENNON, P.A.
FIRST AMERICAN TITLE INSURANCE COMPANY

LEGEND:
A/C = AIR CONDITIONER
A/W = ALSO KNOWN AS
B.R.L. = BUILDING RESTRICTION LINE
CALC. = CALCULATED
C.C. = CURB CORNER
CD = CHORD DISTANCE
CONC. = CONCRETE
CMP = CORRUGATED METAL PIPE
D.B. = DEED BOOK
ELEV. = ELEVATION
FIN. = FINISHED FLOOR
INV. = INVERT

IDENT. = IDENTIFICATION
L = ARC LENGTH
MEAS. = MEASURED
MON. = MONUMENT
O.S.D. = OFFICIAL SURVEY DATA
P.C. = POINT OF CURVATURE
P.I.M. = PARCEL IDENTIFICATION NUMBER
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.T. = POINT OF TANGENCY
R.P. = REINFORCED CONCRETE PIPE

REC. = RECORD
RNG = RANGE
R/W = RIGHT OF WAY
SEC = SECTION
TWP = TOWNSHIP
USE = UNDERGROUND ELECTRIC
X = FENCE AS NOTED
C = CENTERLINE
A = CENTRAL ANGLE
E = ELECTRIC METER
F = FIRE HYDRANT

□ GAS METER
○ LIGHT POLE
○ SANITARY MANHOLE
○ SEWER CLEANOUT
○ TELEPHONE PEDESTAL
○ TELEVISION PEDESTAL
○ WATER METER
○ WELL
○ SET 4"x4" CONC. MON. & DISK (LB 7366)
○ SET 1/2" IRON ROD & CAP (LB 7366)
○ FOUND IRON AS NOTED
○ FOUND MONUMENT AS NOTED



Stephen W. Hoffman, PSM

P. O. Box 977, Yulee, FL 32041
(904) 225-0597 * FAX (904) 548-0456
surveyor98@comcast.net

BY: *Stephen W. Hoffman*

STEPHEN W. HOFFMAN
FLORIDA REGISTERED SURVEYOR
AND MAPPER CERTIFICATE No. 5774

THE INFORMATION SHOWN HEREON MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

SCALE: 1"=30'
DATE: 04/21/16
DRN BY: SWH
CKD BY: SH
JOB NO: 16016
F.B. NO: DC
PAGE NO: FILE

THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.

**SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)**

FLORIDA MASTER SITE FILE
Site inventory Form

SITE NO. **8 NA 700**

SITE NAME: McNeil House
ADDRESS OF SITE: 910 San Fernando St.
INSTRUCTION FOR LOCATING:

SURVEY DATE: 09/30/85

LOCATION: City of Fernandina Beach 8 7
Subdivision Name Block No. Lot No.

COUNTY:
DISTRICT NAME IF APPLICABLE: Fernandina Beach Historic

OWNER OF SITE: NAME:
ADDRESS:
ADDRESS:

TYPE OF OWNERSHIP: RECORDING DATE: / /

RECORDER: NAME & TITLE: Historic Property Associates, Inc.
ADDRESS: P. O. Box 1002
St. Augustine, FL 32084

CONDITION OF SITE:	INTEGRITY OF SITE:	
Check One	Check one or more	
EXCELLENT	x ALTERED	ORIGINAL USE pvt.residence
x GOOD	UNALTERED	PRESENT USE pvt.residence
FAIR	ORIGINAL SITE	DATES c. +1889
DETERIORATED	RESTORED: / /	CULTURE/PHASE American
	MOVED: / /	PERIOD: 20th Century
NR CLASSIFICATION CATEGORY: building		DATE LISTED ON NR: / /

THREATS TO SITE: Check one or more

ZONING	TRANSPORTATION
DEVELOPMENT	FILL
DETERIORATION	DREDGE
BORROWING	
OTHER (See Remarks Below)	

AREAS OF SIGNIFICANCE: architecture

SIGNIFICANCE

See Continuation Sheet

RECORD NUMBER 486

ARCHITECT:

BUILDER:

STYLE AND/OR PERIOD: frame vernacular

PLAN TYPE: irregular

EXTERIOR FABRIC(S): wood: weatherboard; shingles

STRUCTURAL SYSTEM(S): wood frame: balloon

PORCHES: N, E/1-story entrance, 2/4-bay, access E/N;
gingerbread

ORIENTATION: N

FOUNDATION: piers: brick

ROOF TYPE: gable

SECONDARY ROOF STRUCTURE(S): cross gable # gable

CHIMNEY LOCATION: center: ridge

WINDOW TYPE: DHS, 2/2, wood; bay; square bay

CHIMNEY: brick

ROOF SURFACING: composition shingles: butt

ORNAMENT EXTERIOR:

NO. OF CHIMNEYS 1

NO. OF STORIES 2

NO. OF DORMERS: 2

OUTBUILDINGS:

SURROUNDINGS:

SITE SIZE (approx. acreage) LT1

TOWNSHIP RANGE SECTION
3N 28E 22

UTM ZONE UTM EASTING UTM NORTHING

PHOTOGRAPHIC RECORDS NUMBERS:

CONTINUATION SHEET:

910 San Fernando St. is located within a historic land division known as Old Town or the original town of Fernandina. Old Town was layed out in 1811 by the Spanish surveyor George I. F. Clarke. Old Town, along with St. Augustine and Pensacola, is one of only three Spanish towns in Florida and is the only one for which the original graphic plan of the town remains.

Constructed c. 1889, the McNeil House, it is a two-story frame vernacular residential building. It was originally the residence of Burrell McNeil, a harbor pilot. He built the structure shortly after his marriage to Maggie Morse in 1887. The add-on to the left was a small store operated at one time by survivors of McNeil: his sister-in-law, Janie Morse and his daughter, Theo McNeil. An interesting feature of the house is that there is no access from the living or dining rooms to the columned porch which was added c. 1902. His residents must go down steps or out the back door to circle around to the porch.





McNeil House at 910 Fernando Street on the SW corner of Commandant and Fernando Streets in Old Town, Fernandina Beach, Florida. It was built by Burrell McNeil, harbor pilot, about 1889. Columned porch (with no door from living room) was added about 1902.