



AGENDA
BOARD OF ADJUSTMENT
APRIL 20, 2016
5:00 PM
CITY HALL COMMISSION CHAMBERS
204 ASH STREET
FERNANDINA BEACH, FL 32034

1. CALL TO ORDER

2. ROLL CALL / DETERMINATION OF A QUORUM

3. APPROVAL OF MINUTES

Approval of Minutes from the BOA Regular Meeting of March 16, 2016.

Documents: [2016 03-16 BOA RM Minutes.pdf](#)

4. NEW BUSINESS

4.1. MICHAEL C. MCAVOY, 737 N. FLETCHER AVENUE (BOA 2016-11)

Variance from LDC Section 5.01.03(l)

Documents: [McAvoy BOA 2016-11.agenda packet.pdf](#)

4.2. DONALD + DONNA RUSHLOW C/O DOUGLAS MACKLE, 317 S. 4TH STREET (BOA 2016-12)

Variance from LDC Sections 1.03.05(A)

Documents: [Rushlow BOA 2016-12.agenda packet.pdf](#)

4.3. DONNA LYNN GUEST RUSHLOW C/O DOUGLAS MACKLE, 315 S. 4TH STREET (BOA 2016-13)

Variance from LDC Sections 1.03.05(A)

Documents: [Rushlow BOA 2016-13.agenda packet.pdf](#)

5. BOARD BUSINESS

5.1. REAPPOINTMENT OF MS. TISHA DADD FOR A 3 YEAR TERM.

6. COMMENTS BY THE PUBLIC

Members of the public are invited to address the BOA on items of concern not listed on the agenda.

7. ADJOURNMENT

NEXT BOA MEETING IS SCHEDULED FOR MAY 18, 2016

Quasi-Judicial – Denotes that the item must be conducted as a Quasi-Judicial hearing in accordance with City Commission established procedure and Florida Statutes.

All members of the public are invited to be present and be heard. Persons with disabilities

requiring accommodations in order to participate in this program or activity should contact the City Clerk at (904) 310-3115 or TTY/TDD 711 (for the hearing or speech impaired).

All interested parties may appear at said meeting and be heard as to the advisability of any action, which may be considered with respect to such matter. For information regarding this matter, please contact the Community Development Department (904) 310-3135. If any person decides to appeal any decision made by the Board of Adjustment with respect to any matter considered at such meeting he/she will need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be made.

MINUTES

1. **Call to Order** – The meeting was called to order at 5:00 pm.

2. **Roll Call / Determination of a Quorum**

Board Members Present

Tisha Dadd, Chair
Lynn Williams
Barry Hertslet (alternate)

Marcy Mock
Matt Miller (alternate)

Board Members Absent

Charles Burns

Michael Spino, Vice-Chair

Others Present

Tammi Bach, City Attorney
Jacob Platt, City Planner
Brad Franklin, Recording Secretary

Member Miller and Member Hertslet were seated as voting members for this meeting.

3. **Approval of Minutes** - The February 17, 2016 Meeting Minutes were presented for approval. **A motion was made by Member Williams, seconded by Member Mock, to approve the Minutes. Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.**

4. **New Business** - Mr. Platt announced that item 4.1 BOA 2016-09 the applicant requested to have this item tabled until the April BOA hearing. Recording Secretary Franklin administered the oath to the parties that were about to present testimony. City Attorney Bach briefly explained the quasi-judicial procedures. There were no ex parte communications to be disclosed by the board members.

4.1. BOA 2016-09, LLMM LLC & WINDDOG LLC, Two Parcels at the South end of Pheasant Lane. Variance from LDC Section 4.04.04(D) Requirements for Infrastructure; 7.02.01(B)(5) Requirements for All Utilities; 7.02.02(B) Standards for Installation of Potable Water and Sanitary Sewer Facilities.

The applicant requested this item be tabled until the April Board of Adjustment hearing.

4.2. BOA 2016-10, Vystar Credit Union Redevelopment, 1900 S. 14th Street. Variance from LDC Sections 4.05.12(A), 4.05.12(C), 4.05.12(H)(1), 4.05.12(2) and 4.05.12(I) Buffer Requirements; 4.05.07(C)(6), 4.05.07(C)(11), 4.05.07(C)(12) Perimeter Landscaping; 7.01.04(A)(7) Parking Space Requirements; 7.01.04(C)(2), 7.01.04(C)(4), 7.01.04(D)(4) Parking Standards and Parking Lot Design; 7.01.07(C) Drive-Through Facilities and Stacking Lanes.

Mr. Platt explained all the required application materials were received, all fees were paid, and required notices were made. He stated the requested variance was for property located at 1900 South 14th Street from multiple sections of code. He clarified the Vystar branch was looking to do redevelopment, and outlined the applicable sections of code as listed above. He pointed out the property was currently zoned C-1 with a FLUM category of General Commercial. He explained the requested variance was to allow for the redevelopment of the existing Vystar branch without meeting all the site design requirements. He stated the applicant was seeking to

modernize the branch with their new building prototype, which reflects their current needs and requirements. He commented the structure was originally developed in 1987 and was about 5,719 square feet. He pointed out the new building would be within the existing footprint and total about 4,000 square feet. He explained currently financial institutions are not permissible in the C-1 zoning district, which makes this branch an existing non-conforming use. He stated staff believes financial institutions should be allowed in the Community Commercial Land Use category and was in the process of correcting that problem to get it added to the permissible land uses. He pointed out the existing non-conforming use would not be discontinued for more than 180 days so it would be allowed to continue. He stated because the building was proposed to be demolished it triggers the entire site for compliance with the Land Development Code (LDC). He provided further details of the requested variance as contained in the staff report. He pointed out based on the six criteria for granting a variance the variance request is inconsistent with the following criteria 1) special conditions, 2) special privilege, 3) literal interpretation, and 5) general harmony.

Mr. Duncan Ross presented a packet and Mr. Brian Kitchens, Vice-President of Purchasing and Facilities for Vystar, 4949 Blanding Boulevard, Jacksonville, requested approval of the described variance. He explained Vystar is the second largest credit union in the State of Florida, and they are a non-profit. He stated because Vystar is a non-profit they are able to pass on significant benefits to their members. He pointed out in Nassau County they built a branch in Callahan in 2014, they were contemplating a demolition and reconstruction in Fernandina Beach, and plan to build a branch in Yulee in 2018. He explained the Fernandina Beach branch serves about 8,800 members in the vicinity and the membership continues to grow. He stated they looked at refurbishing the existing building, but due to the age of the building and the condition they thought they should make a bigger investment by taking down the structure and building a new branch. He pointed out the proposed branch would be a smaller structure than what is currently there, and it would bring the branch up to date with current business practices. He stated they don't want to do a whole lot to the site, and were working with their consultant to work through the LDC. He explained that parking was a concern for him, because regardless of technology the branch members still want to visit a branch. He commented to accommodate that traffic the branch needs parking, and they were only asking for what they currently have onsite today. He pointed out a typical branch has 10 to 12 employees and that would take up half the parking that would be allowed under the proposed LDC. He stated they are working with the Planning Department to make headway on the changing code, but there are some things they think are important for the long-term viability of the branch.

Mr. Duncan Ross, Prosser (Vystar's planning consultant), commented before the board are a number of variances that were submitted as part of an application. He expressed his opinion that their application and their site was consistent with the six variance criteria. He presented a site rendering showing the surrounding properties as well as the onsite stormwater retention pond and the existing landscaping of the property. He pointed out they were proposing to remove the non-conforming pole sign and bring in a sign that is compliant. He referred to the handout and explained that each page was a different criterion that staff indicated that the request did not meet. He stated he went through with specific elements that indicate that they do meet the criteria. He referred to special condition and pointed out this lot is an irregular lot configuration in that it is longer than it is wide. He commented they have different setbacks on either side and pointed out the pinch points on the front and the side. He stated there is dead space where they can't develop because of the angles of the lot. He pointed out they have an existing drainage easement on the north side of the property, which is a special condition and they cannot put anything in that

easement. He explained there is a sanitary sewer main about six feet off the property line, and trees cannot be put over that. He stated they have to bring the development further in to have developable area. He referred to special privilege and explained if they were not able to obtain any variances they would have to remove the improvements located on the property. He commented for literal interpretation he identified five items that provide consistency with literal interpretation criteria. He stated without any relief the proposed redevelopment of the property would be impacted and limit the economic feasibility and create a functionally obsolete lot that would not support a use of this character and size. He pointed out the LDC would only provide the branch with 14 spaces, but the branch has about 8,800 members that are served by this branch. He explained 41 spaces amounts to $\frac{1}{2}$ of 1% of the members who use this branch. He referred to general harmony and stated there are six items listed. He explained the area that was being proposed to be demolished and rebuilt was the only part of the site they were proposing to modify, and the remaining area would stay exactly the same as it is today. He pointed out per the code parking is not allowed to be in the front so they were moving the parking to side of the building. He provided further comments in support of the requested variance including that the requested variances do not promote incompatibility or intensification of the use. He explained in their opinion the application does meet the review criteria.

Member Williams noted the branch's needs have changed and there are some details that fall outside of the City's codes. He commented there is a sidewalk on the south side of the property where they were taking out five fairly significant trees. He questioned why not run the sidewalk behind those trees to save the trees. Mr. Ross explained the reason for that sidewalk was to separate vehicle traffic from the people, and the proposed location of the sidewalk minimizes the number of trees removed. He pointed out any tree removed they have to mitigate for. He stated there are areas on the site where they have to plant more trees. There was a brief discussion about this and it was noted that they must be able to get a fire truck into the site and out of the site. It was noted due to the angle of the lot it limits them as to where the building can be placed.

Mr. Kitchens commented the original submittal they didn't have a sidewalk, because there were still some spaces in the front of the branch. He stated if they have all the members coming from the rear of the branch they thought a sidewalk would be an important safety feature to get to the branch. There was some discussion about the placement of the building on the site. It was noted that most of the buffer at the rear of the property was from the adjoining property, because the existing curb was within a foot of the property line.

Mr. Platt explained to the board that an interior/exterior renovation would not trigger these requirements, but a demolition of the structure does. Mr. Ross pointed out the items they were asking variances for were on the back portion of the site, and the front would all be code compliant. He commented the items they were seeking were minor items except for the parking, but that was located in the back out of view. It was noted there were seven variances as part of this case.

Member Mock inquired if the board approved the variance would they still have to get approval to take down the trees per the City's Tree Ordinance. Mr. Platt replied correct, but those would be allowed due to the fact there needs to be a sidewalk there to safely give pedestrians access to the building. Chair Dadd noted they would have to replant or replace trees. Mr. Platt stated it depends on the total site design or they might have to mitigate trees. Mr. Ross replied they are planting more trees and showed the board where they were proposing to plant trees. Member Williams commented it appeared that if you gave up two parking spaces and moved that curb out

you could slide the building five feet to the north, which could save the trees and have the sidewalk too. There was brief discussion about this suggestion, and noted that one of the variances was related to the number of parking spaces.

Mr. Ross briefly explained the requested variances: 1) buffer requirement on the rear of the property since the existing curb is 1 ½ feet from the property line and the sanitary sewer line prevents them from putting trees along the rear; 2) with regard to the 10 feet of perimeter landscaping along the north side there is a 7 ½ foot easement and parts of parking in the other 10 foot buffer so they were requesting to reduce that requirement from 10 feet to 7 feet; and 1 shade tree every 20 feet requirement to be changed to 1 shade tree every 50 feet; 3) parking to maintain the 41 existing spaces; 4) requirement of 75% of the required parking to be pervious and they proposed to make 24% pervious rather than dig up the existing parking to make it pervious; 5) requirement for connections to adjoining properties but neither side has stubs out to this property; 6) requirement for pedestrian connection but the tracts of land do not provide for pedestrian access; and 7) was to provide stacking for 13 vehicles where the code says they need stacking for 20 vehicles. He pointed out staff had indicated that these were the minimal variances necessary to implement the plan. City Attorney Bach pointed out the board needed to discuss whether there were issues in approving one or all of the requested variances. Member Williams commented he thought the variances were fair with the problem of development when you have in an older building going from older codes to new codes. He questioned if there was anything to do about the trees. Mr. Ross stated they can look through that at time of design with the City. Mr. Platt explained staff would work with the applicant and conduct a site visit to look at the trees.

Recording Secretary Franklin administered the oath to the party that was about to present testimony. Mr. Randy Swift, Senior Vice-President of Vystar, explained he moved here from St. Johns County to become a resident of Fernandina Beach and Vystar cares about what goes on here. He commented most of their 8,800 members are residents here. He stated they want to build a building that the community is proud of, because they want the members to be proud of it as well. He extended his thanks to the board for their deep questions and their consideration.

A motion was made by Member Williams, seconded by Member Mock, to approve BOA 2016-10; and that the BOA make the following findings of fact and conclusions of law part of the record that BOA case 2016-10 as presented is substantially compliant with the Comprehensive Plan and the Land Development Code to warrant approval at this time. Vote upon passage of the motion was taken by ayes and nays and was as follows:

Member Miller:	Nay
Member Hertslet:	Aye
Member Mock:	Aye
Member Williams:	Aye
Chair Dadd:	Aye

Motion carried.

- 5. Comments by the public** – There were no comments from the public at this time.
- 6. Board Business** – Member Hertslet questioned when you completely tear that building down how is that not a new project. City Attorney Bach replied it is a new project. Mr. Platt explained the LDC says developing and redeveloping sites and that was what triggered this whole

thing. He stated Vystar's point was they are not redeveloping the site, but redeveloping their building and wanting to leave the existing improvements that were made on the lot (parking). He commented they wanted to leave work that could be reutilized with the new branch building. City Attorney Bach inquired if the fact they are not completely clearing the site is how they are allowed to put a bank back into C-1. Mr. Platt stated typically an existing non-conforming use that is not allowed if it discontinues for more than 180 days the City would not allow it to be there. He explained this was saying it was not being discontinued, and pointed out they were looking for a site to relocate to during the construction. City Attorney Bach referred to the point of how we can grant a variance on a property that is going to be essentially vacant other than the parking and explained the variance has to be granted in order for building permits to be issued. There was some discussion to further clarify this and it was noted that this project will go before the Technical Review Committee (TRC). There was also a brief discussion about redevelopment under the Florida Building Code and that there is a threshold where it has to be brought up to current codes. It was noted the BOA was here for hardships on sites.

Mr. Platt stated it was brought to his attention that Ms. Dadd needed to be reappointed to the board for a 3 year term, and reported that he would follow up on this.

7. Adjournment - There being no further business to come before the Board of Adjustment the meeting was adjourned 6:20 pm.

Brad Franklin, Secretary

Tisha Dadd, Chair



BOARD OF ADJUSTMENT STAFF REPORT

Case Number 2016-11

Meeting Date April 20, 2016
Owner/Applicant Michael C. McAvoy
Property Location: 737 N Fletcher Avenue
Parcel Number: 00-00-31-134B-0186-0000

Requested action: VARIANCE from LDC Section 5.01.03(I) A detached accessory building shall not be closer than three (3) feet to the rear lot line.

Current zoning: R-2
FLUM land use category: Medium Density Residential
Existing uses on the site: Multi-family occupied by one family

All required application materials have been received. All fees have been paid. All required notices have been made.

I. SUMMARY OF REQUEST AND BACKGROUND INFORMATION:

The requested variance application is to allow for a carport to encroach 18 inches into the required 3 foot rear yard setback. The existing structure was built in 1976 as a multi-family dwelling. Today the McAvoy's occupy the dwelling as their permanent home. The applicant is seeking a variance to allow for the carport to be placed where there is an existing driveway that is 18 inches from the property line. This carport will be an open air structure that will help protect the applicants care from the elements.

II. CONSISTENCY WITH THE COMPREHENSIVE PLAN:

The following Comprehensive Plan statements are applicable in this case:

- Policy 1.02.07 – The City shall implement the Fernandina Beach Comprehensive Plan in a manner that acknowledges private property rights.
- Policy 1.02.10 – The City shall protect privacy and access to light, air, and open space. The City shall consider regulations such as building placement on a site, building design, and building orientation as one means to achieve this policy.



III. **CONSISTENCY WITH THE LAND DEVELOPMENT CODE:**

Variance procedures and criteria are set forth in Sections 10.02.01 through 10.02.04.

- Section 10.02.01(B) states that the BOA may authorize a variance from the design and improvement standards of the LDC, except for areas within the Historic District Overlay or the CRA Overlay, where requirements of Section 10.02.00 are met.
- Section 10.02.02(B) states that the applicant for a variance has the burden of proof of demonstrating that the variance application complies with each of the requirements of Section 10.02.02(A).
- Section 10.02.04 sets forth the application requirements. This application includes information necessary for the BOA to make the required findings.
- Section 10.02.01(C) sets forth the limitations on the grant of a variance:
 1. A variance shall not be granted which authorizes a use that is not permissible in the zoning district in which the property subject to the variance is located.
 2. A variance shall not be granted which authorizes any use or standard that is prohibited by the City's Comprehensive Plan.
 3. No nonconforming use of adjacent lands, structures, or buildings in the same zoning district, and no permitted use of land, structures, or buildings in other zoning districts, shall be considered grounds for the authorization of a variance.
 4. A variance shall not change the requirements for concurrency.
 5. A variance shall not be granted to permit the use of a single media peonia for the construction of a dwelling unit.
 6. A variance shall not be granted if the evidence submitted by an applicant is a demonstration of financial hardship or economic considerations.
 7. A variance shall not be granted for procedure or process components of this Land Development Code.
 8. A variance shall not be granted to deviate from LDC section 4.02.02 to combine two (2) or more lots which would result in a lot width greater than 100 feet for lots or parcels that abut Ocean Avenue, North Fletcher Avenue, or South Fletcher Avenue.

Staff's review of this application finds it is not subject to any of these limitations and can therefore be considered by the Board.



I. SECTION 10.02.02(A) – REQUIRED FINDINGS FOR GRANTING OF A VARIANCE

In order for an application for a variance to be approved or approved with conditions, the BOA shall make a positive finding with regard to each of the following provisions:

Consistent with Criteria?

All questions must be answered in the affirmative in order for staff to recommend approval of a variance. Negative answers must be addressed in the findings.

<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<p>1. <u>Special Conditions</u>: <i>Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district. Special conditions or circumstances do not result from actions of the applicant and are not based on a desire to reduce development costs.</i></p> <p>Yes. <u>Special conditions do exist</u> as it relates to the land, structure, or features of the parcel that did not result from actions of the applicant. The existing structure built in 1976 as a multifamily dwelling does not have a garage. Given the site constraints this is the logical place for a carport that will protect the property owners vehicle from the elements.</p>
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>2. <u>Special Privilege</u>: <i>Granting the variance does not confer upon the applicant a special privilege that is denied by the Land Development Code to other lands, structures, or buildings in the same zoning district.</i></p> <p>No. Granting the variance <u>does confer</u> upon the applicant a special privilege that is denied by the Land Development Code to other lands, structures, or buildings in the same zoning district. The north beach area does have a large amount of existing non-conforming structures however; all new development is required to comply with the Land Development Code.</p>
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>3. <u>Literal Interpretation</u>: <i>Literal interpretation of the provisions of the Land Development Code would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district.</i></p> <p>No. Literal interpretation of the Land Development Code <u>would not deprive</u> the applicant of rights enjoyed by others in the same zoning district because all new development is required to comply with the Land Development Code.</p>
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<p>4. <u>Minimum Variance</u>: <i>The variance requested is the minimum variance needed that will make possible the reasonable use of the land, structure, or building.</i></p> <p>Yes. This is the <u>minimum variance</u> needed that will make possible the reasonable use of the land, structure, or building. There is an existing concrete driveway that the carport will be place on. Given the fencing and driveway, this is the minimum variance needed for the carport.</p>



<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>5. <u>General Harmony</u>: Granting the variance will be in harmony with the general intent and purpose of the Land Development Code and Comprehensive Plan.</p> <p>Yes. This request for a variance <u>is</u> in general harmony with the Land Development Code and Comprehensive Plan. The Land Development Code does allow for accessory structures to be three feet from the rear lot line because of the urban environment of our City. The application is in general harmony with the Comprehensive Plan because it will preserve private property rights and allow for protection of the property owners vehicle.</p>
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<p>6. <u>Public Interest</u>: Granting the variance is compatible with surrounding properties, will not cause injury to the area involved, or otherwise be detrimental to the public health, safety, welfare or environment.</p> <p>Yes. Granting of a variance <u>is</u> compatible with nearby development and the character of the surrounding properties, it will not cause injury to the area involved, or otherwise be detrimental to the public health, safety, welfare or environment.</p>

V. ANALYSIS:

The variance requested is consistent/inconsistent with the criteria for granting a variance as follows:

	Consistent	Inconsistent
1. Special Conditions	X	
2. Special Privilege		X
3. Literal Interpretations		X
4. Minimum Variance	X	
5. General Harmony	X	
6. Public Interest	X	

The applicant appears to meet criteria 1, 3, 4, 5, and 6 does not meet 2 and 3 therefore staff recommends denial.

VI. MOTION TO CONSIDER:

I move to **approve or deny** BOA case number 2016-10; AND I move that the BOA make the following findings of fact and conclusions of law part of the record: That BOA case 2016-10, item, as presented, **is or is not** substantially compliant with the Comprehensive Plan and Land Development Code to warrant approval at this time.

Jacob M. Platt, Planner I
Community Development Department

OFFICE USE ONLY

REC'D: 3/18/16 BY: [Signature]

PAYMENT: \$ 650.00 TYPE: CIS 1194

APPLICATION #: 2016-000455

CASE #: 2016-11

BOARD MEETING DATE: _____



APPLICATION FOR VARIANCE FROM THE LDC

APPLICANT INFORMATION

Owner Name: MICHAEL C McAVOY

Mailing Address: 737 N. FLETCHER AVE, FB, FL 32034

Telephone: 904-310-9711 Fax: _____

Email: AMELIAISLANDMIKE@GMAIL.COM

Agent Name: _____

Mailing Address: _____

Telephone: _____ Fax: _____

Email: _____

PROPERTY INFORMATION

Street Address: 737 N. FLETCHER AVE

Parcel Identification Number(s): 00-00-31-134B-0186-0000

Lot Number: 0186 Block Number: _____

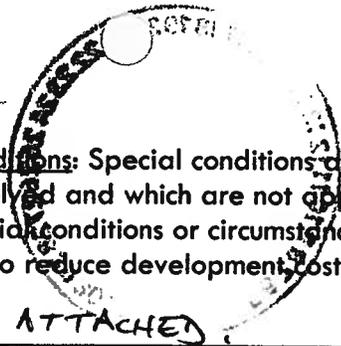
PROJECT INFORMATION

Variance(s) requested from LDC Section(s): 5.01.03.I, THREE FOOT SETBACK FROM REAR LOT LINE.

Brief description of work proposed (use additional sheets if necessary):

INSTALL CARPORT

In order for an application for a variance to be approved or approved with conditions, the BOA or the HDC must make a positive finding with regard to each of the provisions below. The applicant has the burden of proof of demonstrating that the application for a variance complies with each of the requirements. Please explain in detail how your case meets the following requirements:



1. **Special Conditions:** Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district. Special conditions or circumstances do not result from actions of the applicant and are not based on a desire to reduce development costs.

SEE ATTACHED

2. **Special Privilege:** Granting the variance does not confer upon the applicant a special privilege that is denied by the Land Development Code to other lands, structures, or buildings in the same zoning district.

THERE APPEARS TO BE NO SPECIAL PRIVILEGES
AS THERE ARE A GREAT VARIETY OF STRUCTURES
AND BUILDINGS IN THE NORTH FLETCHER AREA,

3. **Literal Interpretation:** Literal interpretation of the provisions of the Land Development Code would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district.

YES, WE JUST WANT TO FULLY UTILIZE
OUR LAND LIKE EVERYONE ELSE,

4. **Minimum Variance:** The variance requested is the minimum variance needed that will make possible the reasonable use of the land, structure, or building.

YES, THIS IS THE MINIMUM VARIANCE NEEDED
TO MOST REASONABLY USE OUR LAND.

5. **General Harmony:** Granting the variance will be in harmony with the general intent and purpose of the Land Development Code and Comprehensive Plan.

YES

6. Public Interest: Granting the variance is compatible with surrounding properties, will not cause injury to the area involved, or otherwise be detrimental to the public health, safety, welfare or environment.

YES. WILL FIT IN WELL WITH ALL OTHER
STRUCTURES ON BLOCK. (CITY WATER
DEPARTMENT OCCUPIES ONE HALF OF
THE BLOCK ACROSS THE STREET.)

If your property is located within the Historic Districts or the Community Redevelopment Area, please fill out responses to the supplemental variance criteria, attached as Appendix A, on a separate sheet of paper.

SIGNATURE/NOTARY

The undersigned states the above information is true and correct as (s)he is informed and believes.

3-18-2016
Date

[Handwritten Signature]
Signature of Applicant

STATE OF FLORIDA }
 ss }
COUNTY OF NASSAU }

Subscribed and sworn to before me this 18th day of March, 2016.

[Handwritten Signature]
Notary Public: Signature

Linda Herron
Printed Name



My Commission Expires

Personally Known _____ OR Produced Identification ID Produced: FL DL M210543562590

Variance request, 737 N Fletcher Ave

Question 1, special circumstances.

We purchased our home January, 2015. It has an existing 50 foot by 12 foot driveway in the backyard that the previous owners put in sometime around 1993. While this is a three unit building, it is our permanent home. We have lived on the island for over fifteen years, on North Fletcher for six years, and purchased our home in January of last year. We love Fernandina and are so happy to have this home. We are constantly making improvements to allow for full use of this beautiful property.

What we don't have for our vehicles or our family is protection from the elements. We would like to put a carport on the 50' driveway. We believe this is a very viable alternative to building a full garage on our property. The posts for the front of the carport will be aligned with both our side wall and backyard fence. It will fit in the space provided perfectly. It would be much smaller than any type of garage we might put up.

The carport will not have walls or a front or a back. Totally open air, just a roof, painted a nice forest green to blend in with the trees and our fence. It will have a maximum height of 11 1/2 feet at its crest. Many RV's are 14 feet in height and a garage would be much higher than that. We like small. We have a small RV that will easily fit in the carport. The carport will be only 27 feet long (our RV is only 20 feet long), just a little over half of the driveway and only a third of our 75 foot boundary line. But small is not cheap. We want to protect our investments in all the vehicles we have. The carport would allow us to protect at least one of our vehicles from the elements.

This is much more than about protecting vehicles. It would also allow our family to enjoy the outdoors more, providing both shade from the sun and protection from the rain .

The existing driveway cement slab is approximately 18-20 inches from the fence which overlies the boundary between our properties. It is not 36 inches from the fence. The closest spot is 18 inches. We are asking for a variance to build our carport within 18 inches of our rear yard line. To build it 36 inches from the rear yard line and leave our present back yard intact would not provide enough room for any vehicle. And as the pictures show, our family backyard really cannot afford to lose an inch.

Contact information:
 Phone: (386) 961-0006
 Fax: (386) 961-0008
 Email: tubularbuildingsystems@gmail.com
 Website: www.tubularbuildingsystems.com

Tubular Building Systems

Out-of-State Sales

Local:
 631 SE Industrial Circle
 Lake City, FL 32025
Mailing address:
 PO Box 2254
 Lake City, FL 32056

DEALER NAME: _____ DEALER PHONE #: _____ DATE: _____
 CUSTOMER NAME: Michael Meavoy COUNTY Nassau TAX % (Where Delivered) _____
 ADDRESS: 737 North Fletcher CITY Fernandina Beach STATE FL ZIP 32034
 PHONE: WORK (_____) _____ HOME (904) 310-9711 CELL (583) 583-0070

UNIT SIZE	W. <u>11'9"</u> L. <u>20</u>	Ht. <u>11'6"</u> ^{at Peak} Ga. <u>14</u> <input checked="" type="checkbox"/> <u>12</u> <input type="checkbox"/>	All Orders C.O.D.
COLOR	TOP <u>Green</u> SIDES <u>Green</u> TRIM <u>Green</u>		Price
<u>12x20</u>	<u>1095</u>		<u>1640</u>
<u>10'</u>	<u>240</u>		
<u>2) 3' panels</u>	<u>180</u>		
<u>header</u>	<u>125</u>		
	<u>Mail Plans to Customer</u> *		Tax <u>114.80</u>
			Subtotal
			<u>196.80</u>
			10% Down Payment Before Tax

THINGS YOU SHOULD KNOW

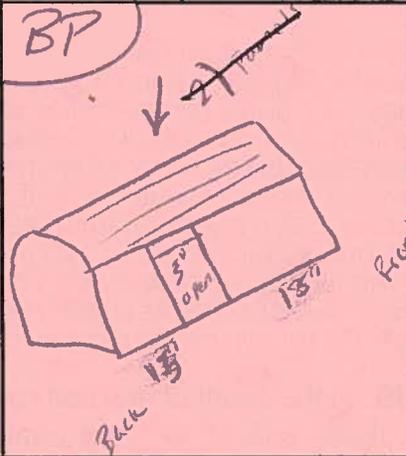
We will not be responsible for any damages. Customers are responsible for permits or any restrictions. Lot MUST be "level" or unit will be installed "AS IS" on lot.

There will be an extra charge if installers have to dig out or cut frame to level.

Any alterations to unit will void warranty.

Balance to be paid in full at time of installation. No refunds on special order items or down payments. If payment is not received in full within 30 days of install, Tubular Building Systems, LLC reserves the right to repo product.

Customer Service will Contact you One to Two Days before Delivery. We accept most Major Credit Cards.



1754.80

Total

1558

Additional Labor Charge

NOTE: FRAME 1 FT. SHORTER THAN ROOF LENGTH

Roof Style	Regular <input checked="" type="checkbox"/>	Boxed Eave <input type="checkbox"/>	Vertical <input type="checkbox"/>
Installation Type	Concrete <input checked="" type="checkbox"/>	Ground <input type="checkbox"/>	Asphalt <input type="checkbox"/> Other <input type="checkbox"/>
Power Available	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Uncertified <input type="checkbox"/>	Certified <input checked="" type="checkbox"/>

This purchase agreement (the "Agreement") is made by and between Tubular Building Systems, LLC a Florida Corporation, and _____ (the "Buyer").

Buyer has read and understands the terms of this Agreement, including the terms and conditions contained on the reverse side of this document, which terms are expressly incorporated herein by reference, as well as any and all relevant warranty information, and agrees to be bound by same.

Customer: [Signature]

Email: _____

TBS: _____

By: [Signature]
 Authorized Dealer

TAX YEAR	ACCOUNT NUMBER	TYPE	ALT KEY	MILLAGE CODE	ESCROW CODE
2015	00-00-31-134B-0186-0000	REAL ESTATE	7239	002	000015

Legal Description

737 FLETCHER N AB&C
FERNANDINA BEACH 32034
LOT 186 IN OR 1956/433 GA FDNA BEACH 2 UNR

MCAVOY MICHAEL C
939 N FLETCHER AVE
FERNANDINA BEACH FL 32034-2004

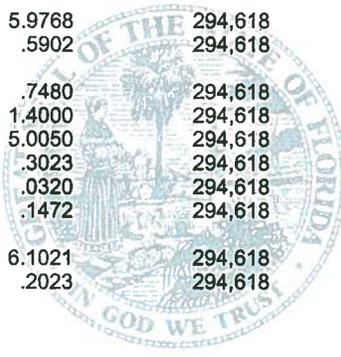


20
7 - 5815



AD VALOREM TAXES

TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION AMOUNT	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS					
GENERAL FUND (C100)	5.9768	294,618		294,618	1,760.88
TRANSPORTATION (C100)	.5902	294,618		294,618	173.88
SCHOOL BOARD					
BASIC DISCRETIONARY (S200)	.7480	294,618		294,618	220.37
CAPITAL OUTLAY (S200)	1.4000	294,618		294,618	412.47
SCHOOL BOARD LOCAL EFFORT	5.0050	294,618		294,618	1,474.56
ST JOHNS RIVER MGMT DIST	.3023	294,618		294,618	89.06
FL INLAND NAVIGATION DIST	.0320	294,618		294,618	9.43
MOSQUITO CONTROL DISTRICT	.1472	294,618		294,618	43.37
CITY OF FERNANDINA BEACH					
FERNANDINA BEACH	6.1021	294,618		294,618	1,797.79
VOTER APPROVED DEBT	.2023	294,618		294,618	59.60
TOTAL MILLAGE	20.5059		TOTAL AD VALOREM TAXES		\$6,041.41



E-BILL

Sign up to get bills by e-mail!

www.nassautaxes.com

NON-AD VALOREM ASSESSMENTS		
LEVYING AUTHORITY	RATE	AMOUNT
		TOTAL NON-AD VALOREM ASSESSMENTS \$0.00
TOTAL COMBINED TAXES AND ASSESSMENTS		\$6,041.41



Scan to view bill online

INFORMATION ONLY - DO NOT PAY

If Paid By →	Nov 30, 2015	Dec 31, 2015	Jan 31, 2016	Feb 29, 2016	Mar 31, 2016
Please Pay →	5,799.75	5,860.17	5,920.58	5,981.00	6,041.41

TAX YEAR	ACCOUNT NUMBER	TYPE	ALT KEY	MILLAGE CODE	ESCROW CODE
2015	00-00-31-134B-0186-0000	REAL ESTATE	7239	002	000015

737 FLETCHER N AB&C
FERNANDINA BEACH 32034
LOT 186 IN OR 1956/433 GA FDNA BEACH 2 UNR

MCAVOY MICHAEL C
939 N FLETCHER AVE
FERNANDINA BEACH, FL 32034

RETURN WITH PAYMENT

PAY IN U.S. FUNDS TO: JOHN M. DREW, TAX COLLECTOR • 86130 LICENSE ROAD, SUITE 3 • FERNANDINA BEACH, FL 32034 • (904) 491-7400

If Paid By →	Nov 30, 2015	Dec 31, 2015	Jan 31, 2016	Feb 29, 2016	Mar 31, 2016
Please Pay →	5,799.75	5,860.17	5,920.58	5,981.00	6,041.41

THIS IS AN INFORMATIONAL NOTICE ONLY - DO NOT PAY
 ← YOUR ORIGINAL BILL HAS BEEN FORWARDED TO YOUR ESCROW AGENT FOR PAYMENT →
 IF YOUR ACCOUNT IS NOT ESCROWED, PLEASE PAY FROM THIS NOTICE

ORDERED BY:



Mitch James O'Conner



PROPERTY ADDRESS: 737 NORTH FLETCHER AVE FERNANDINA BEACH, FLORIDA 32034

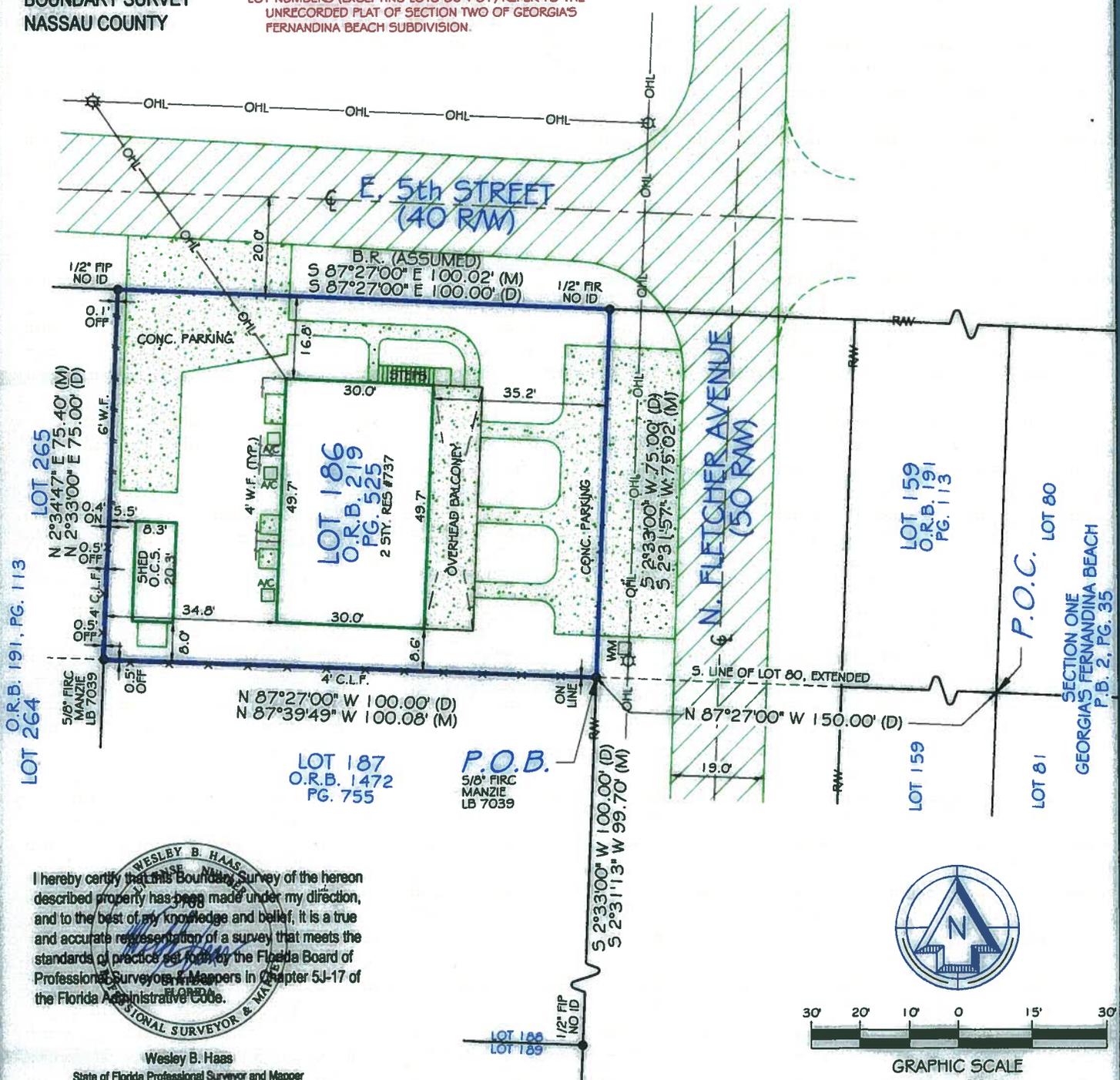
SURVEY NUMBER: 1412.1287

FIELD WORK DATE: 12/12/2014

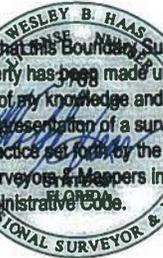
REVISION DATE(S): (REV.1 12/16/2014)

1412.1287
BOUNDARY SURVEY
NASSAU COUNTY

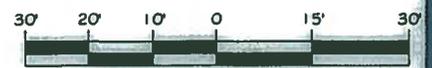
NOTES:
LOT APPEARS TO BE SERVICED BY CITY WATER AND SEWER.
FENCE OWNERSHIP NOT DETERMINED.
LOT NUMBERS (EXCEPTING LOTS 80 & 81) REFER TO THE
UNRECORDED PLAT OF SECTION TWO OF GEORGIA'S
FERNANDINA BEACH SUBDIVISION.



I hereby certify that this Boundary Survey of the hereon described property has been made under my direction, and to the best of my knowledge and belief, it is a true and accurate representation of a survey that meets the standards of practice set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17 of the Florida Administrative Code.



Wesley B. Haas
State of Florida Professional Surveyor and Mapper



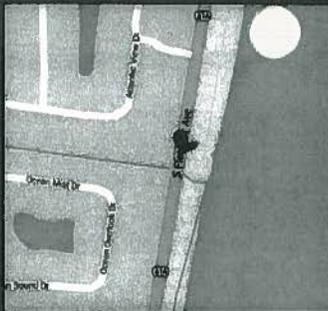
GRAPHIC SCALE

ORDERED BY:



PrimeLending
A PlainsCapital Company.

Mitch James O'Conner



PROPERTY ADDRESS: 737 NORTH FLETCHER AVE FERNANDINA BEACH, FLORIDA 32034

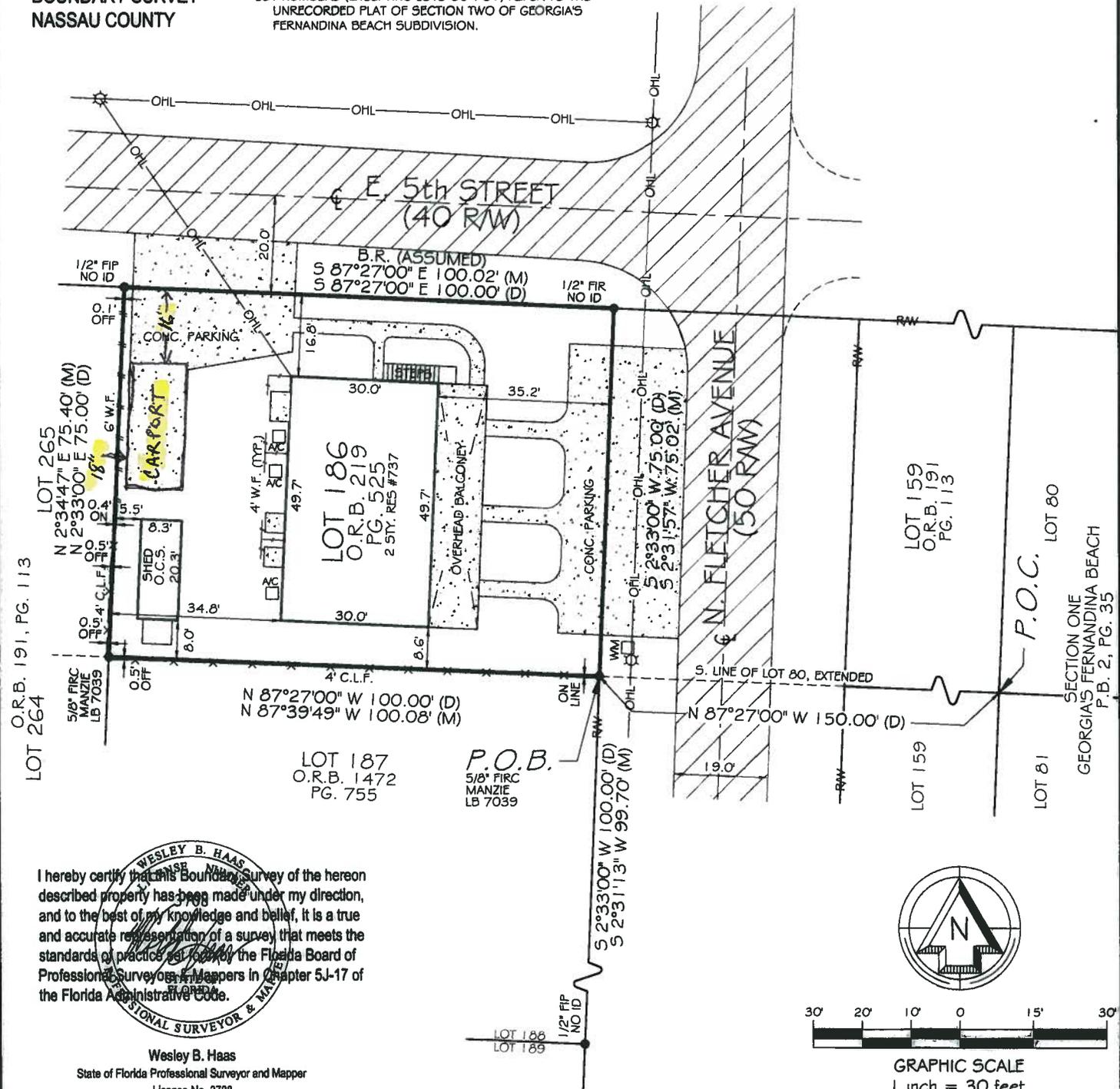
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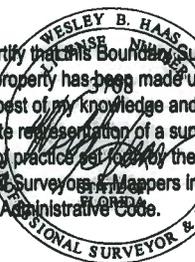
REVISION DATE(S): (REV.1 12/16/2014)

1412.1287
BOUNDARY SURVEY
NASSAU COUNTY

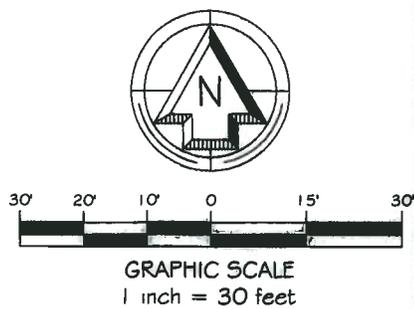
NOTES:
LOT APPEARS TO BE SERVICED BY CITY WATER AND SEWER.
FENCE OWNERSHIP NOT DETERMINED.
LOT NUMBERS (EXCEPTING LOTS 80 & 81) REFER TO THE
UNRECORDED PLAT OF SECTION TWO OF GEORGIA'S
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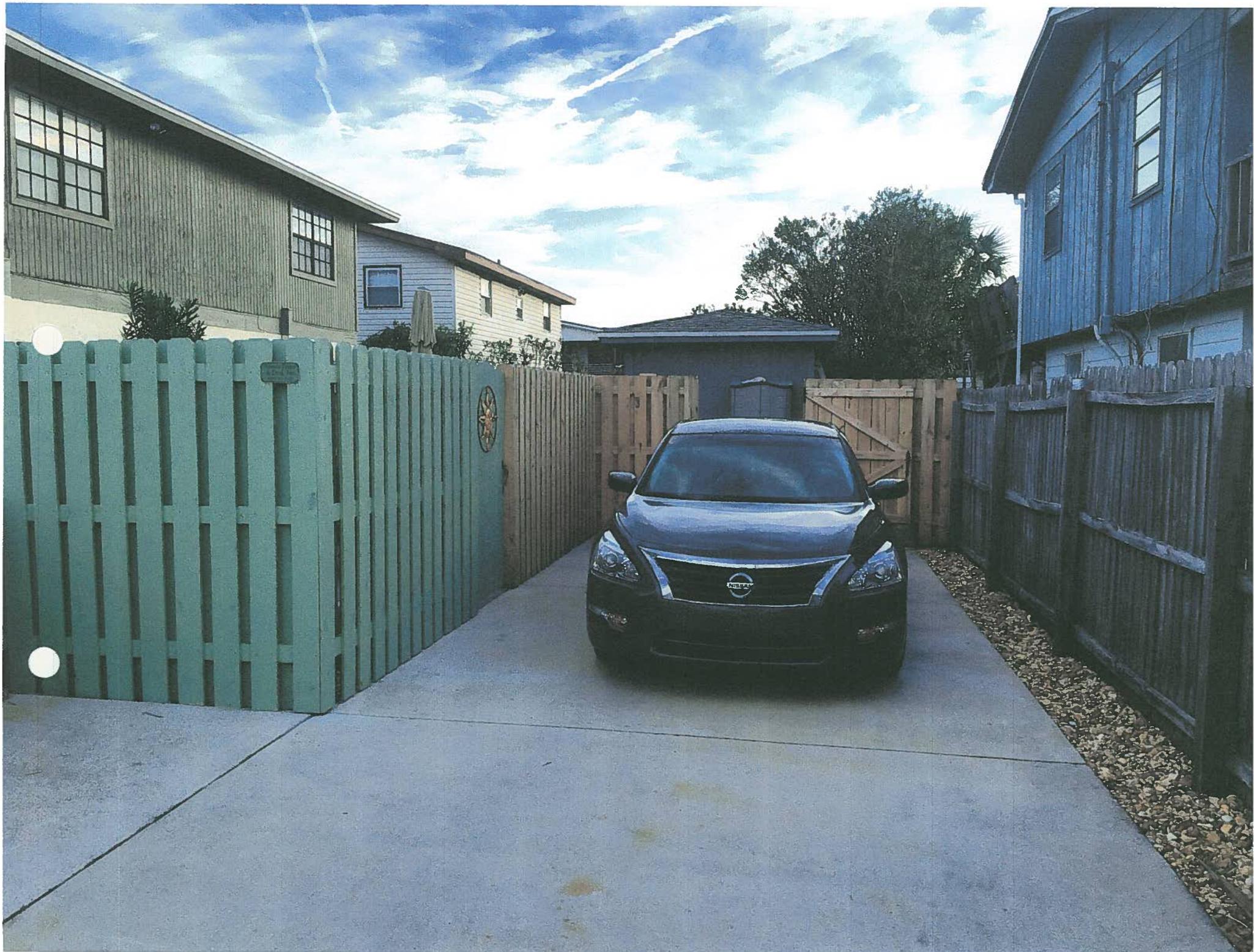


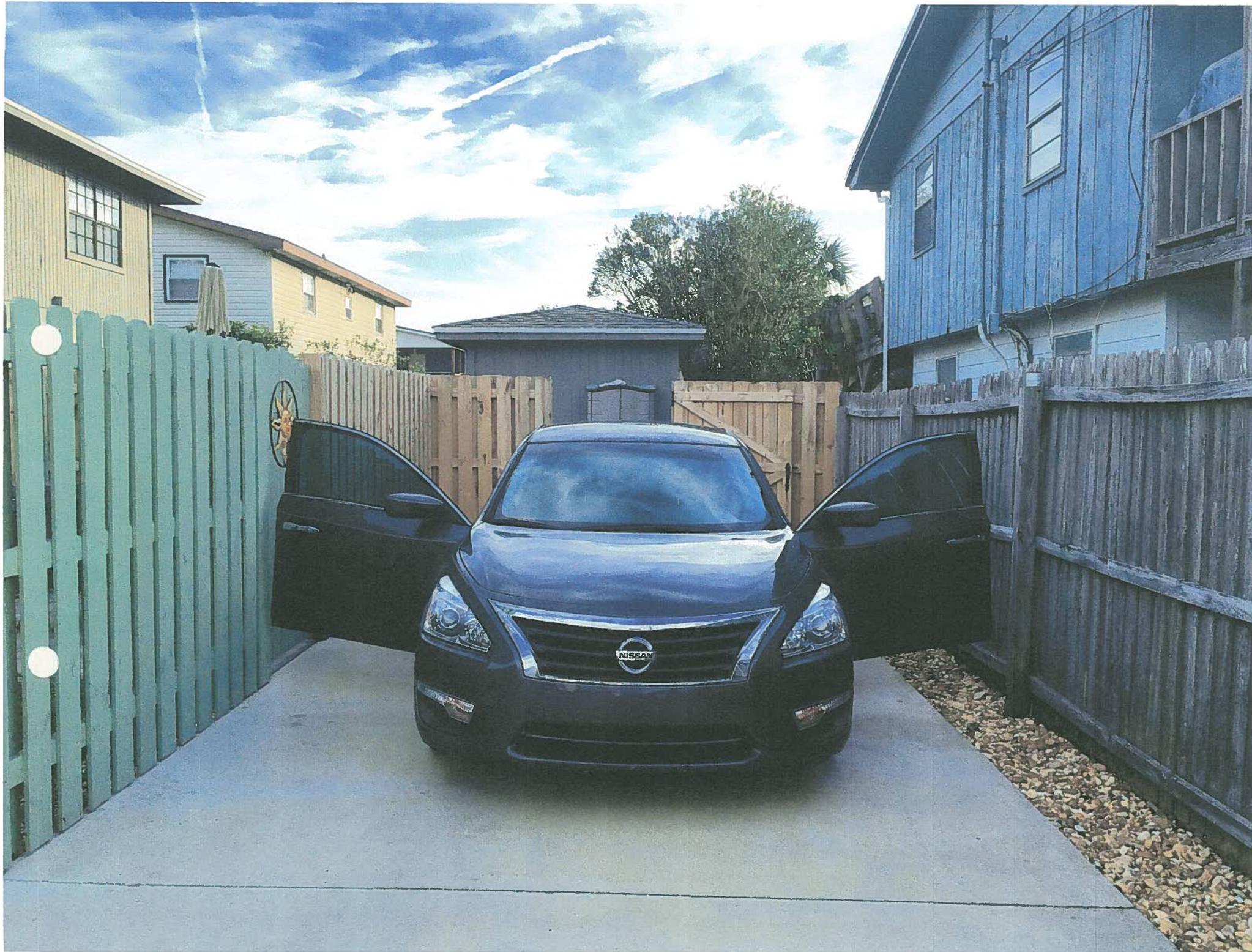
Wesley B. Haas
State of Florida Professional Surveyor and Mapper
License No. 3708

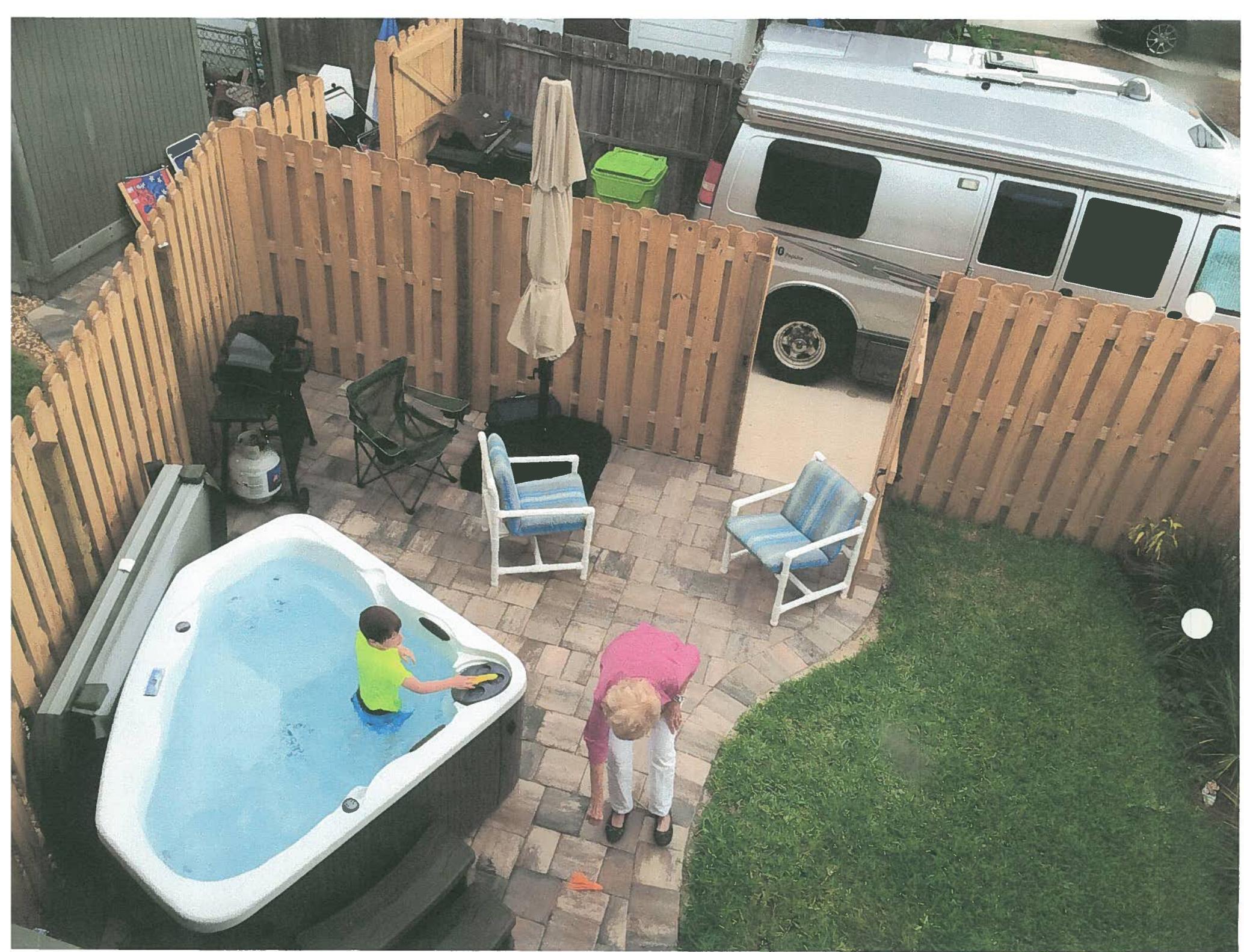


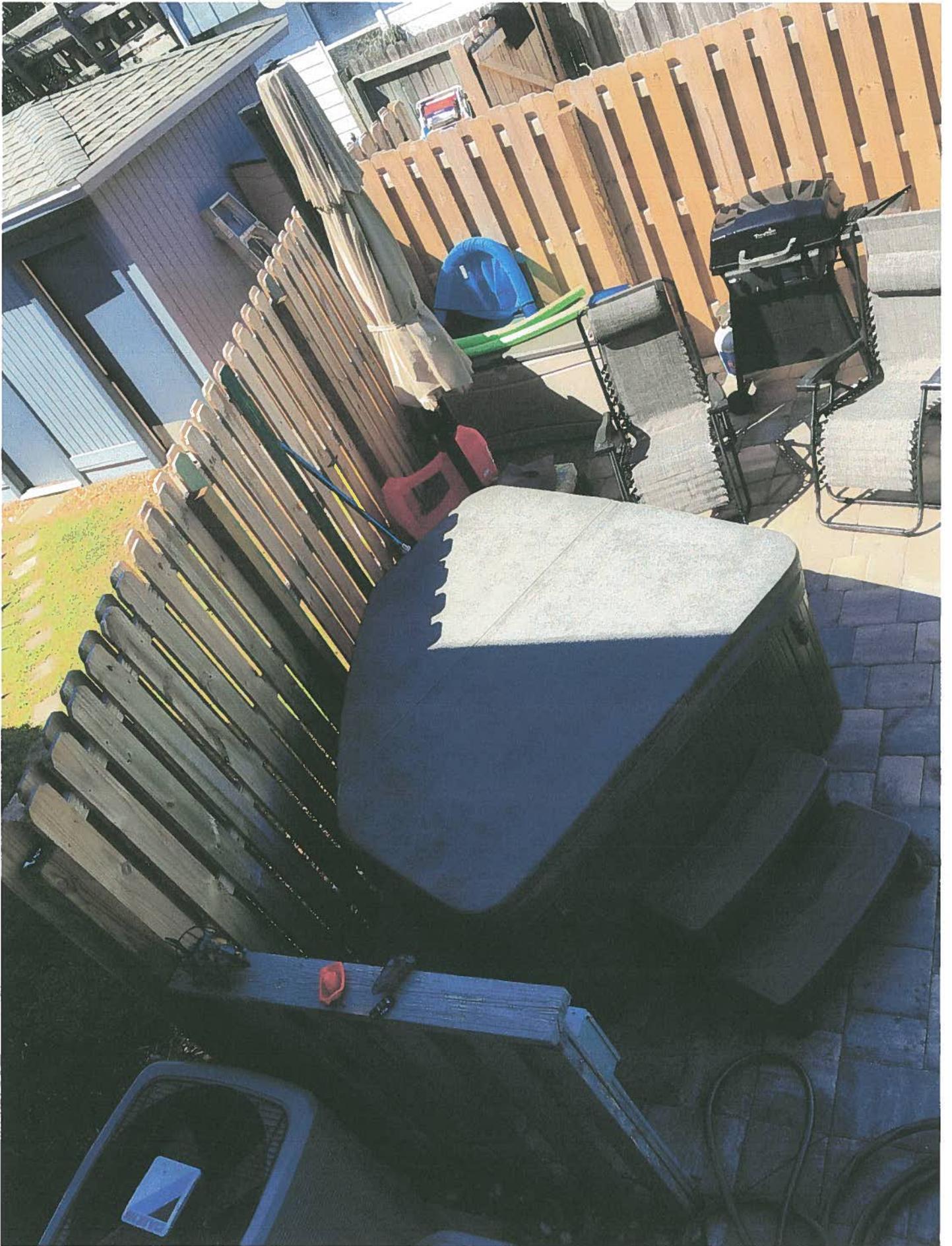




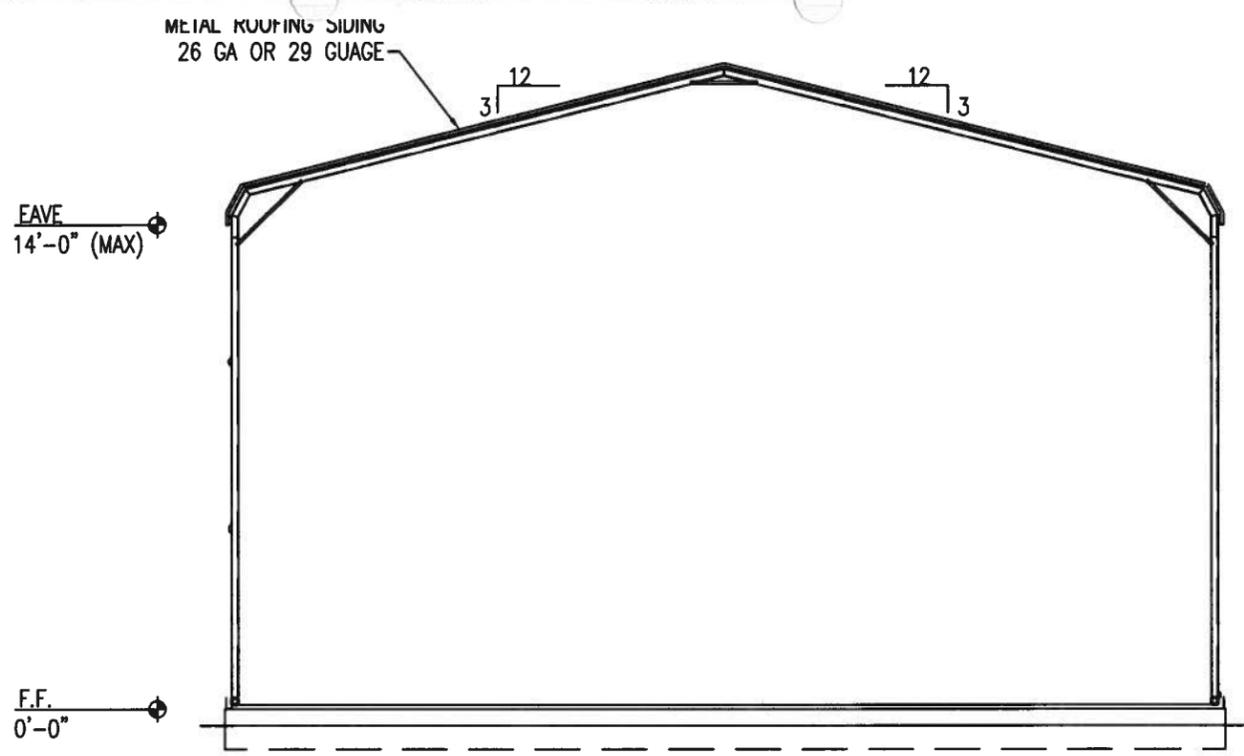




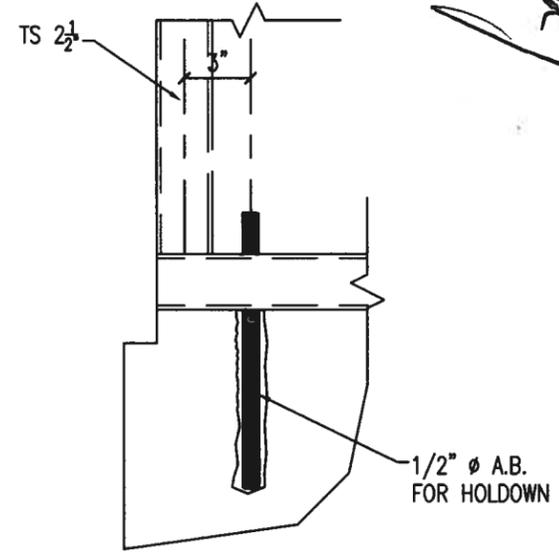






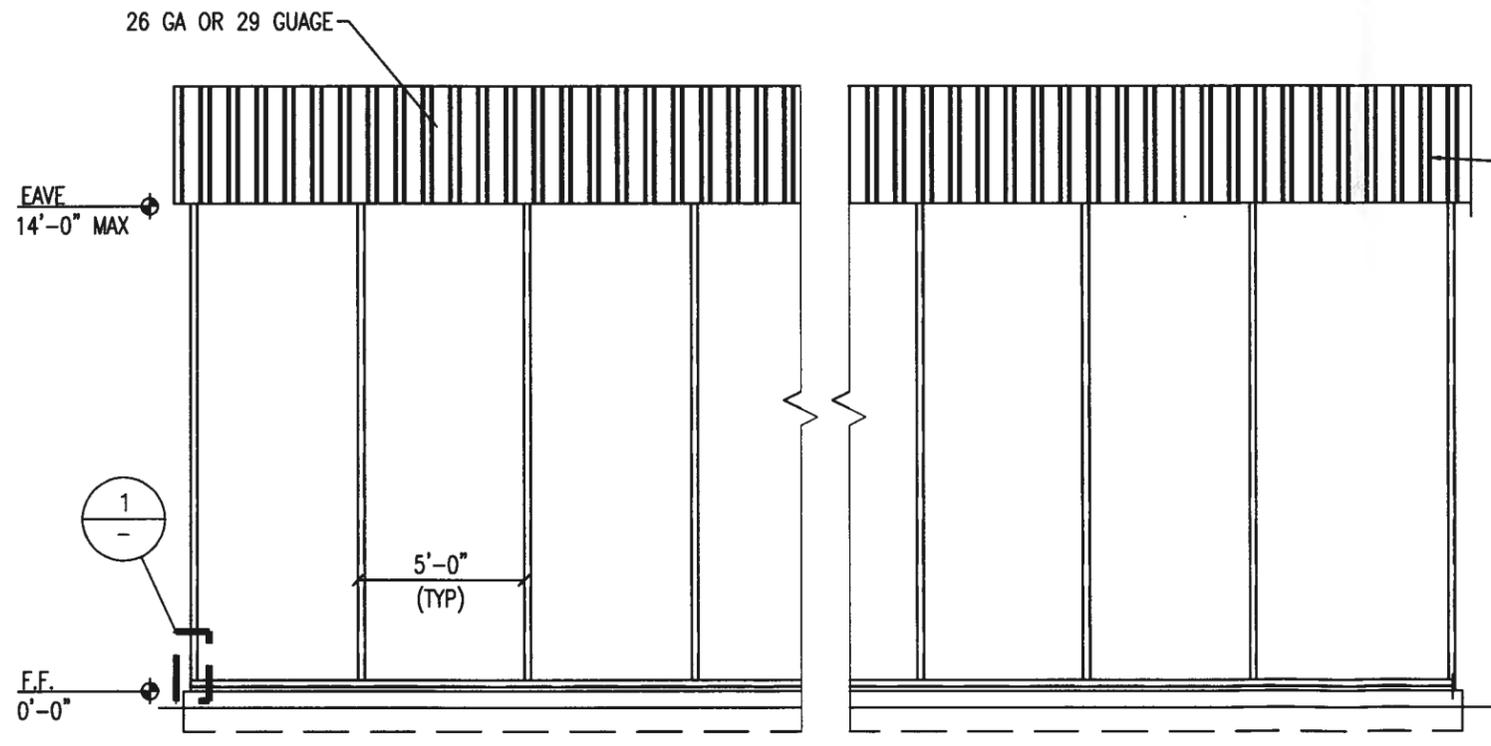


FRONT AND BACK ELEVATIONS - OPEN
3/16" = 1'-0"



1 DETAIL - HOLDOWN
1 1/2" = 1'-0"

Handwritten signature and date: 3/23/11



SIDE ELEVATION - OPEN
3/16" = 1'-0"

NOTE: THE METAL SIDING FOR THE WALL/ROOF CAN BE ROTATED AND SPAN BETWEEN THE POSTS/RAFTERS IN LIEU OF USING HAT CHANNELS. ATTACH METAL DIRECTLY TO POSTS / RAFTERS USING SAME FASTENER TYPE AND SPACINGS AS NOTED

Gill
Engineering Services, Inc.

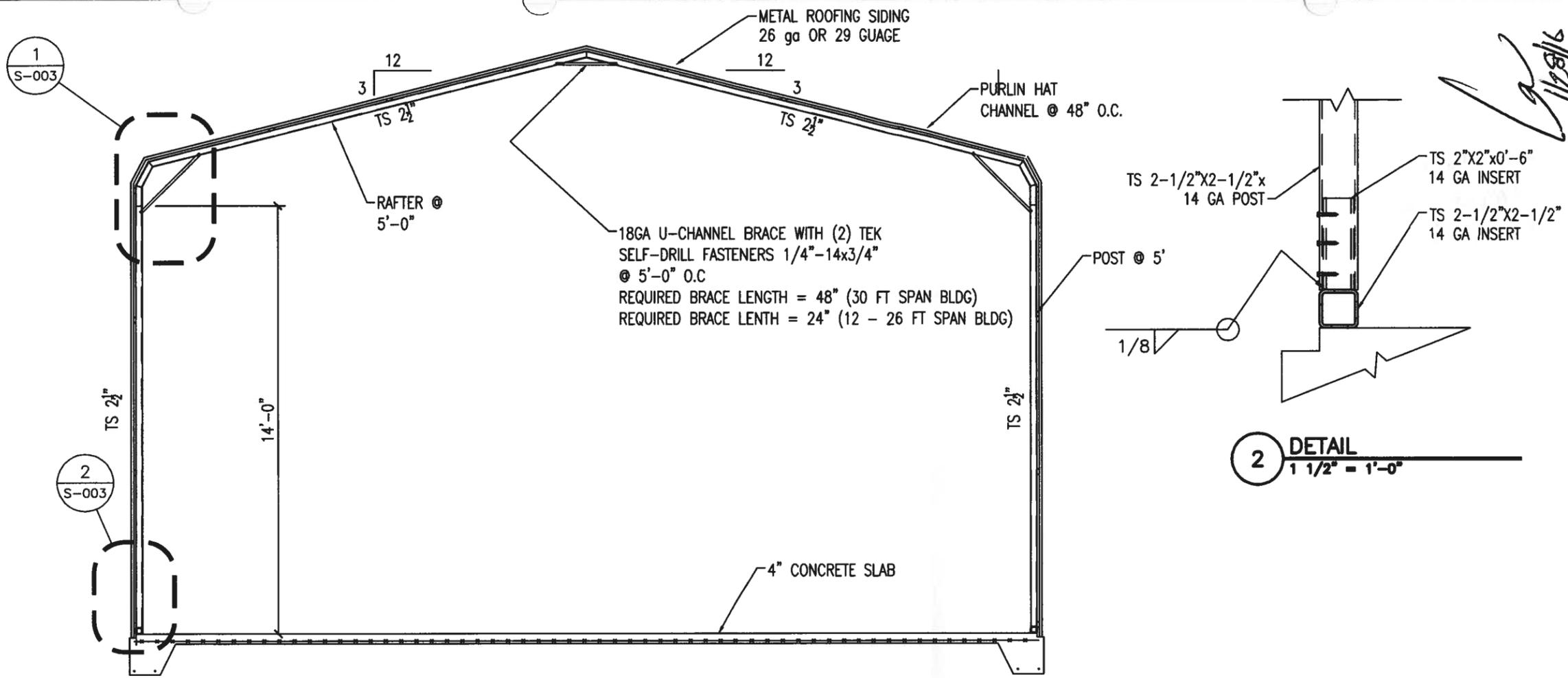
GILL ENGINEERING SERVICES, INC.
AUTH # 30824
GARY GILL, PE 51942
426 SW COMMERCE DR 130-M
LAKE CITY, FL 32025
386-590-1242

REV	DESCRIPTION	APPRD	DATE	CHK'D	DATE
0	RELEASED FOR CONSTRUCTION	GG	3/15	GG	3/15

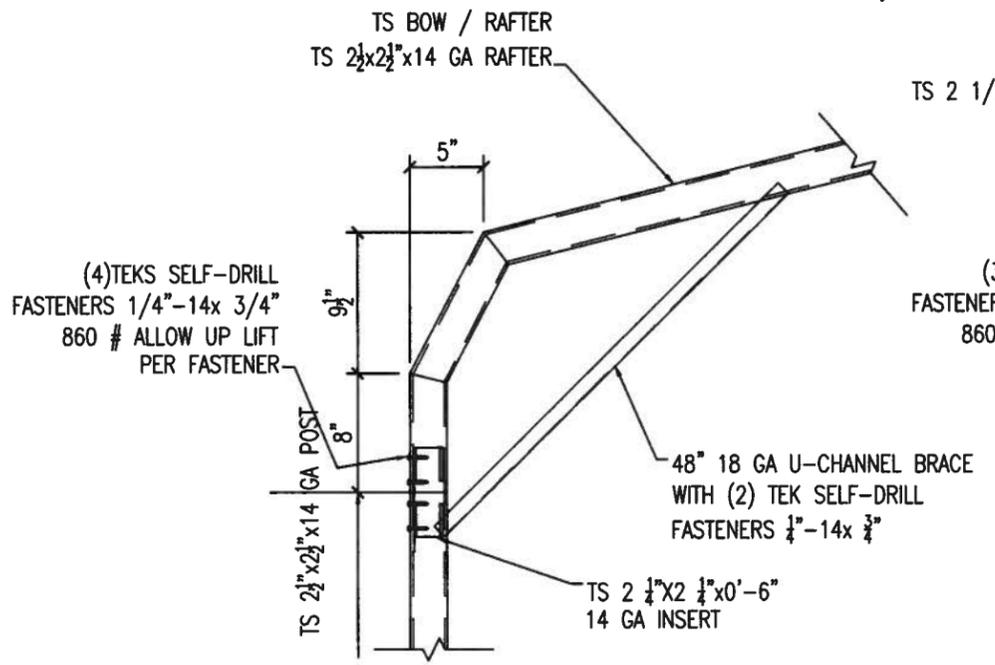
TUBULAR BUILDING SYSTEMS
12 - 30 FT SPAN STEEL BUILDINGS

ELEVATIONS - OPEN

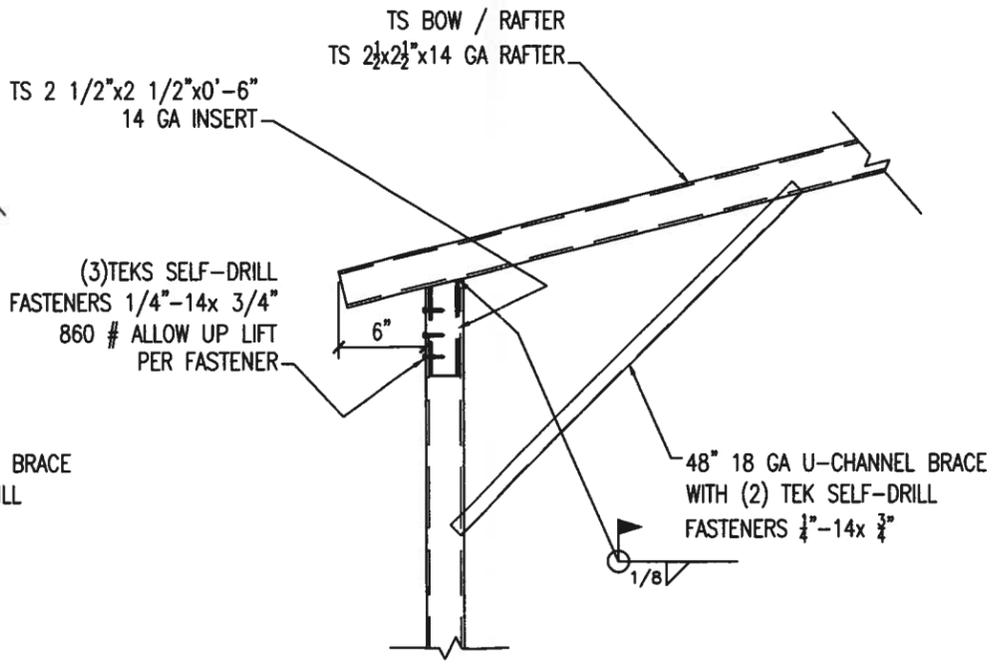
PROJECT #: **1511-019**
DWG. NO. **1511-019-A-001**
SHT. **2** REV. **0**



BUILDING SECTION
1/4" = 1'-0"



1 **DETAIL - BOW**
1" = 1'-0"



1 **DETAIL - BOX EAVE**
1" = 1'-0"

Gill
Engineering Services, Inc.

REV	DESCRIPTION	DATE	CHK'D	DATE
0	RELEASED FOR CONSTRUCTION	3/15	GG	3/15

TUBULAR BUILDING SYSTEMS
12 - 30 FT SPAN STEEL BUILDINGS

STRUCTURAL PLAN

TITLE

PROJECT #: 1511-019

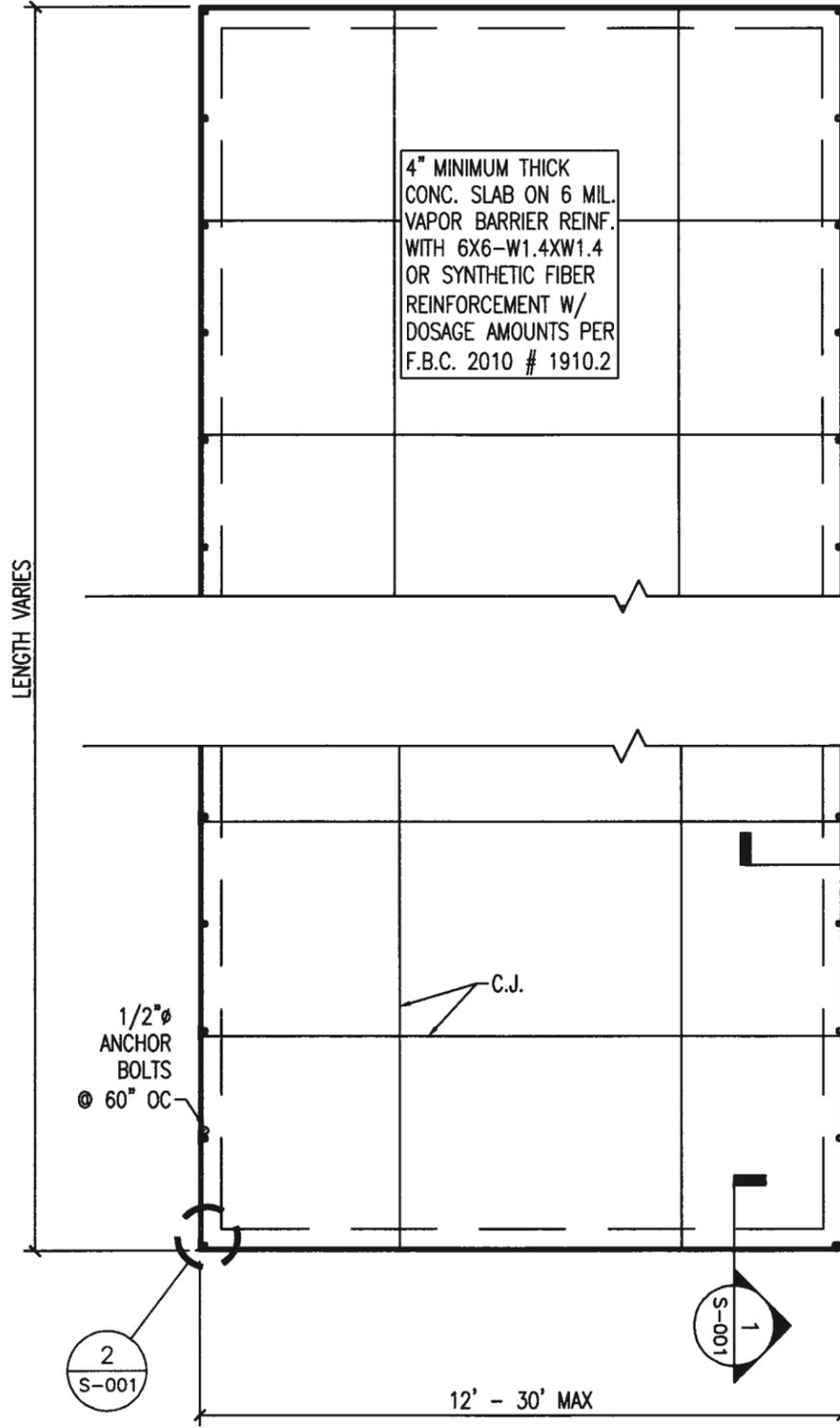
DWG. NO.: 1511-019-S-001

REV. 4

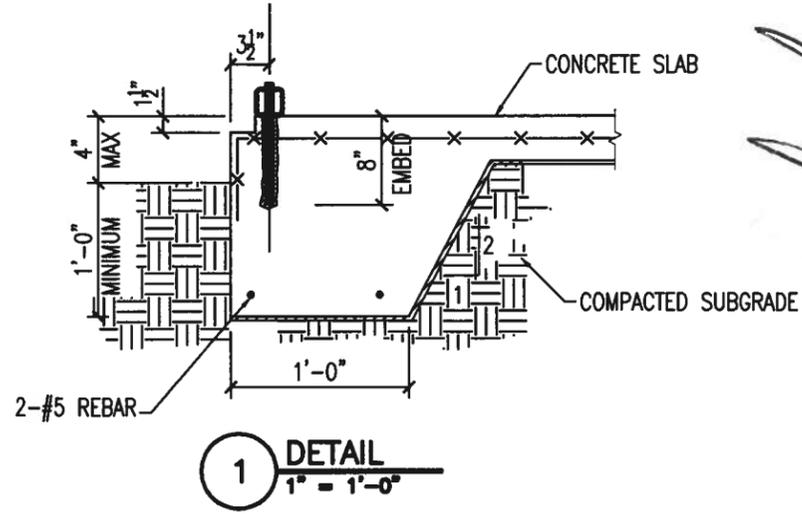
SHT. 4

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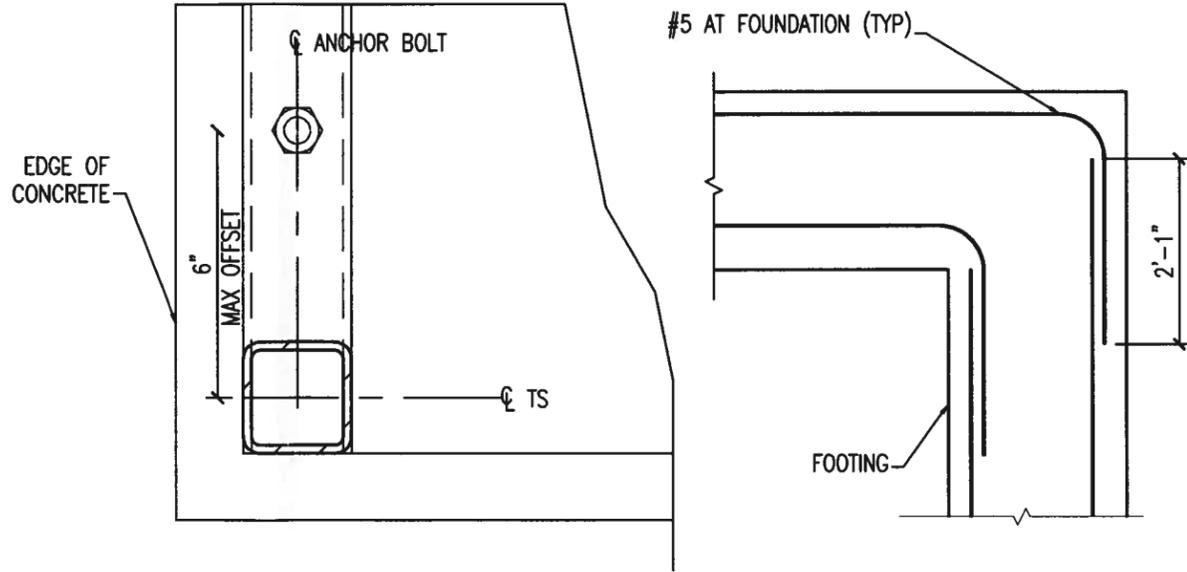
GILL ENGINEERING SERVICES, INC.
AUTH # 30824
GARY GILL, PE 51942
426 SW COMMERCE DR 130-M
LAKE CITY, FL 32025
386-590-1242



FOUNDATION PLAN
1/8" = 1'-0"



1 DETAIL
1" = 1'-0"



2 DETAIL
1/2" = 1'-0"

FOOTING REBAR DETAIL
1/2" = 1'-0"

[Handwritten Signature]
3/20/11

Gill
Engineering Services, Inc.

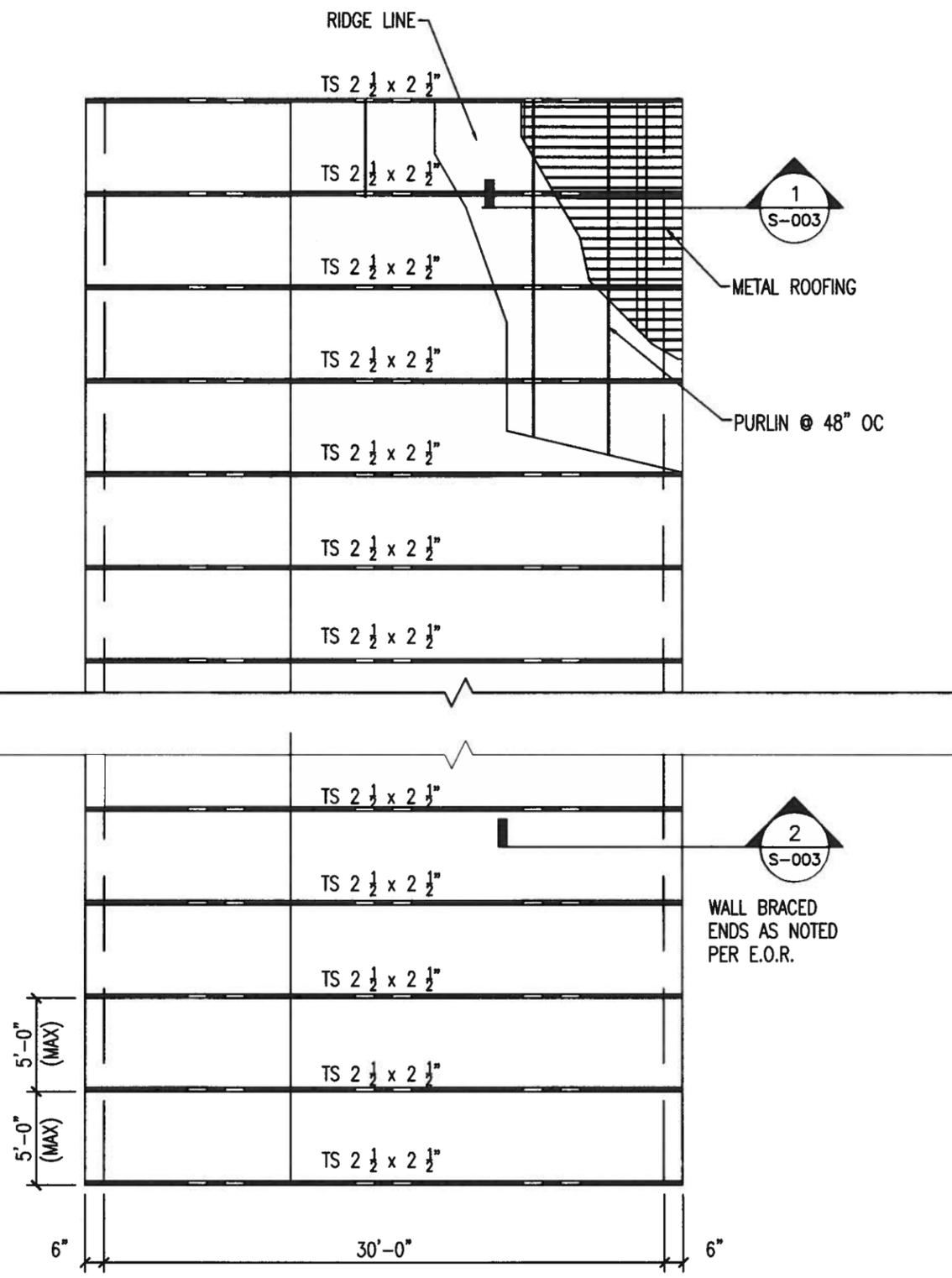
GILL ENGINEERING SERVICES, INC.
AUTH # 30824
GARY GILL, PE 51942
426 SW COMMERCE DR 130-M
LAKE CITY, FL 32025
386-590-1242

RELEASED FOR CONSTRUCTION	GG	3/15	GG	3/15	GG	3/15
DESCRIPTION	APPRD	DATE	CHK'D	DATE	CHK'D	DATE
0						
REV						

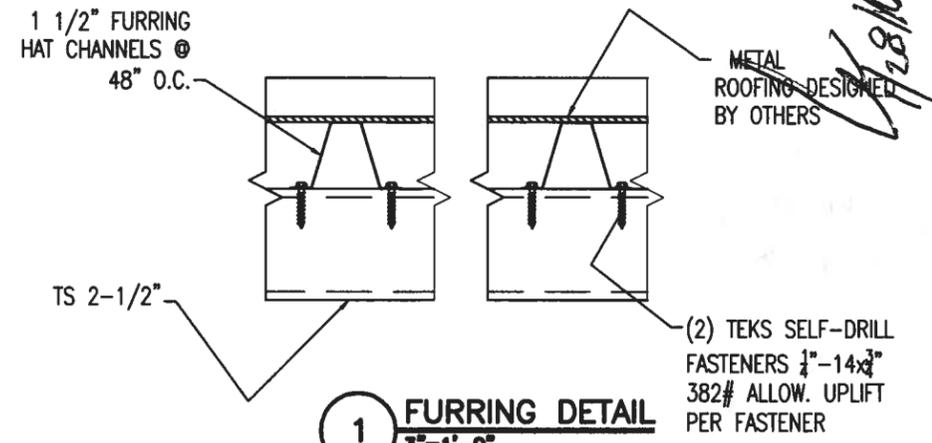
TUBULAR BUILDING SYSTEMS
12 - 30 FT SPAN STEEL BUILDINGS

TITLE
FOUNDATION PLAN

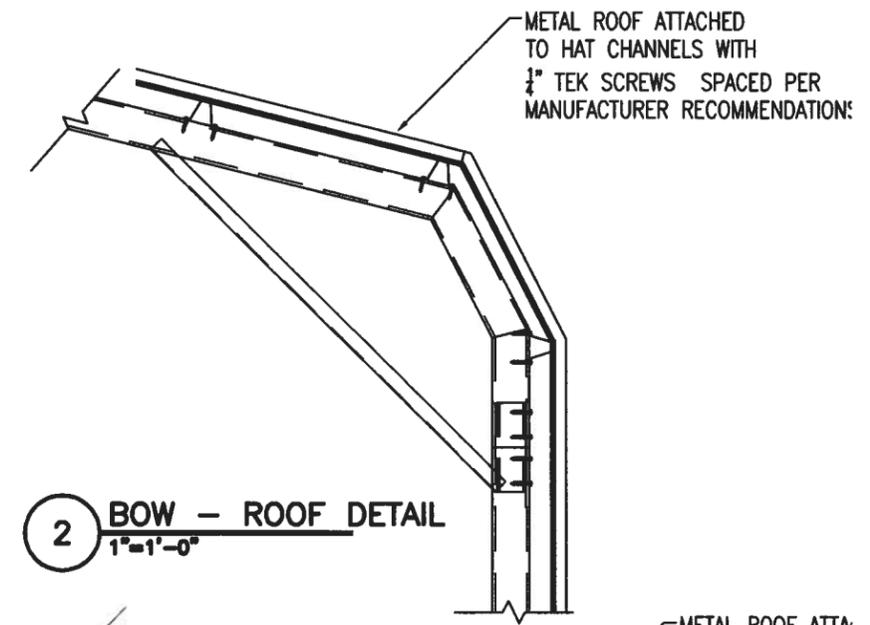
PROJECT #: 1511-019
DWG. NO. 1511-019-S-002
SHT. 5
REV. 0



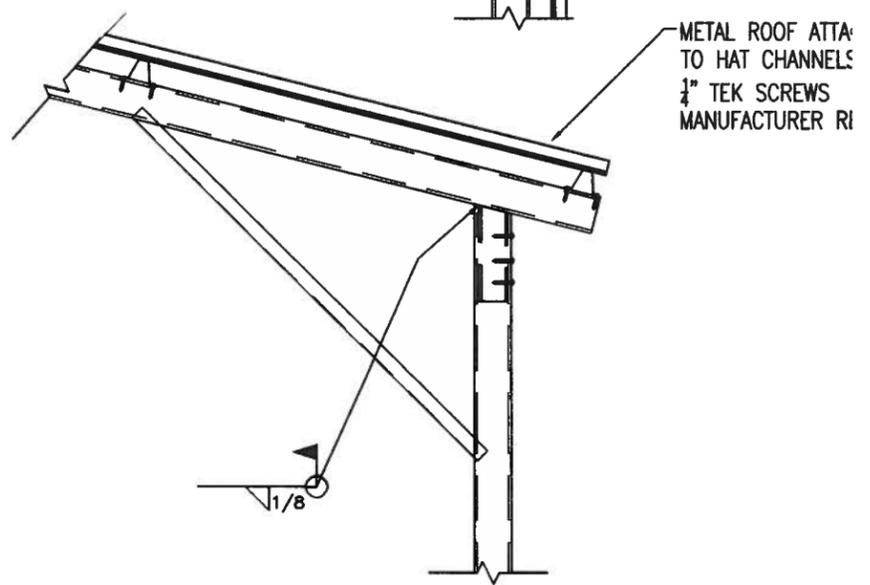
ROOF FRAMING
1/8" = 1'-0"



1 FURRING DETAIL
3" = 1'-0"



2 BOW - ROOF DETAIL
1" = 1'-0"



2 BOX EAVE - ROOF DETAIL
1" = 1'-0"

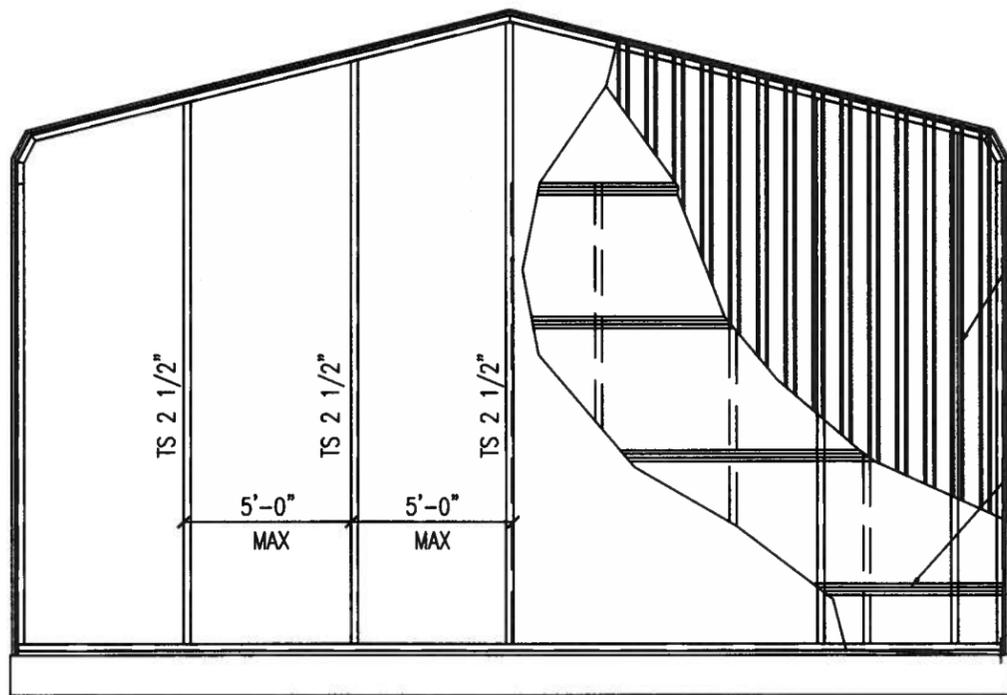
Gill
Engineering Services, Inc.

GILL ENGINEERING SERVICES, INC.
AUTH # 30824
GARY GILL, PE 51942
426 SW COMMERCE DR 130-M
LAKE CITY, FL 32025
386-590-1242

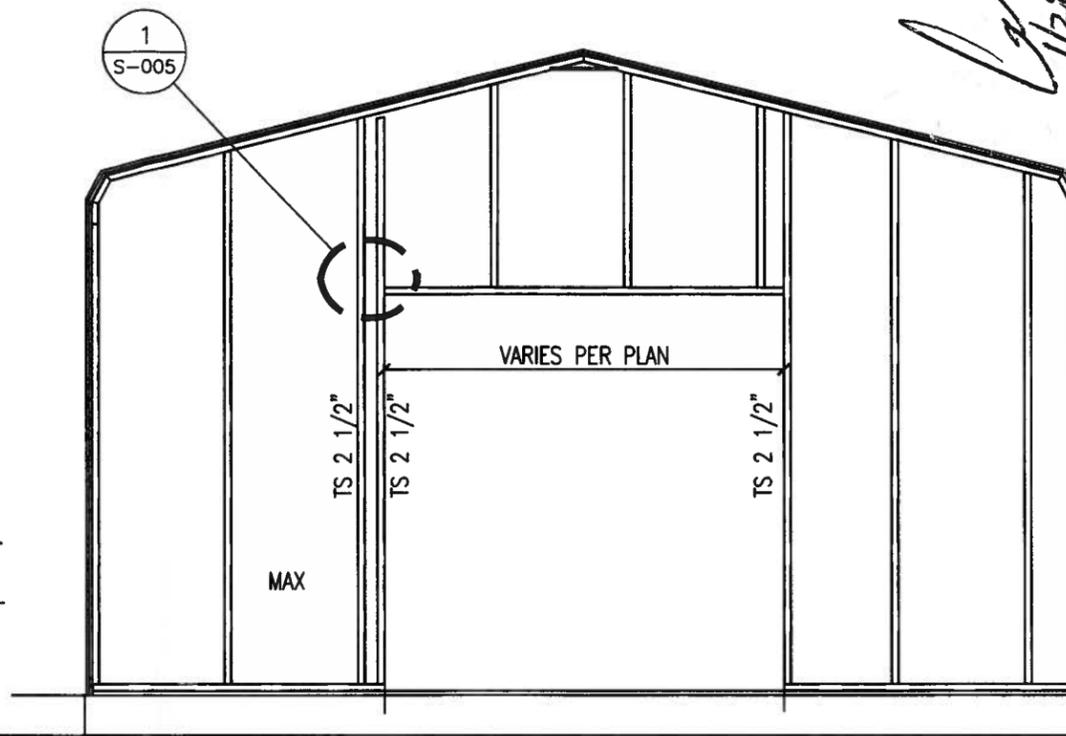
REV	DESCRIPTION	APPRD	DATE	CHK'D	DATE
0	RELEASED FOR CONSTRUCTION	GG	3/15	GG	3/15

TUBULAR BUILDING SYSTEMS
12 - 30 FT SPAN STEEL BUILDINGS

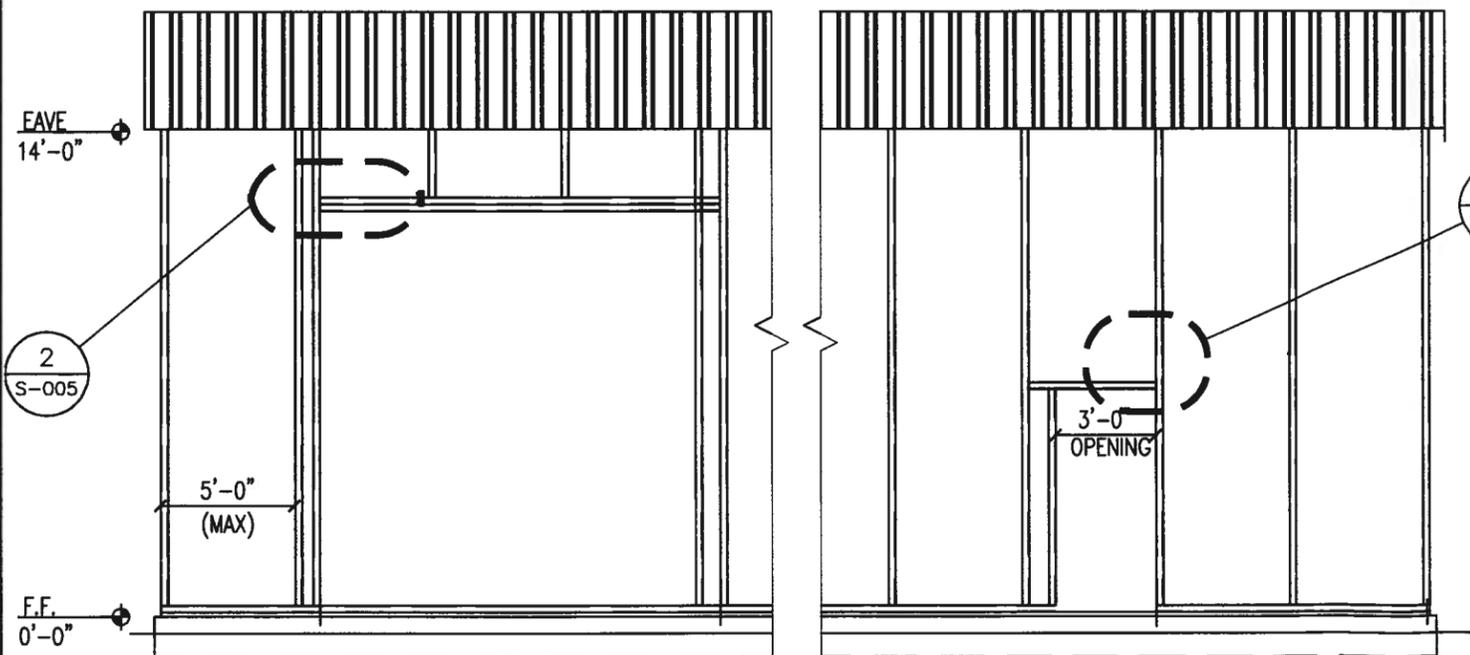
TITLE	ROOF FRAMING PLAN	
PROJECT #:	1511-019	DWG. NO. 1511-019-S-003
REV.	6	0



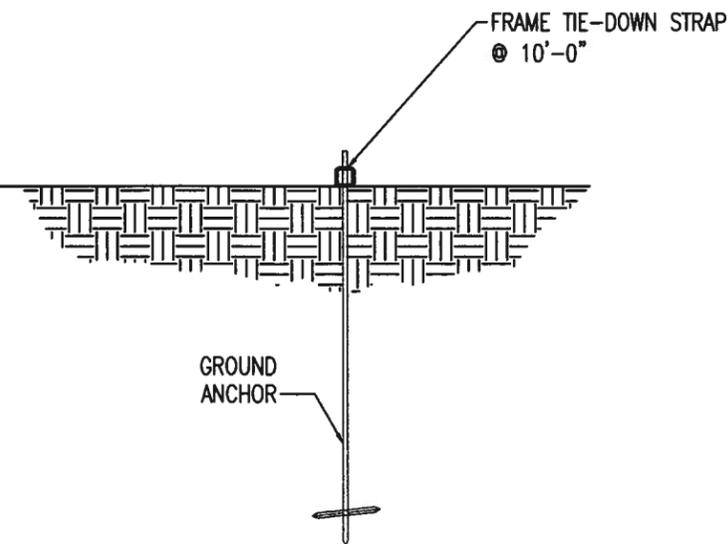
END WALL FRAMING
3/16" = 1'-0"



ENDWALL FRAMING - OPENING
3/16" = 1'-0"



SIDE WALL FRAMING - OPENINGS
3/16" = 1'-0"



ALTERNATE FRAME ANCHORS
1/2" = 1'-0"

1/28/16

Gill
Engineering Services, Inc.

GILL ENGINEERING SERVICES, INC.
AUTH # 30824
GARY GILL, PE 51942
426 SW COMMERCE DR 130-M
LAKE CITY, FL 32025
386-590-1242

GG	3/15	GG	3/15
APPRD	DATE	CHK'D	DATE

RELEASED FOR CONSTRUCTION
DESCRIPTION
TUBULAR BUILDING SYSTEMS
12 - 30 FT SPAN STEEL BUILDINGS

STRUCTURAL DETAILS
DWG. NO. 1511-019-S-004

PROJECT #:	1511-019	SHT.	7	REV.	0
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TITLE

PROJECT #:

DWG. NO.

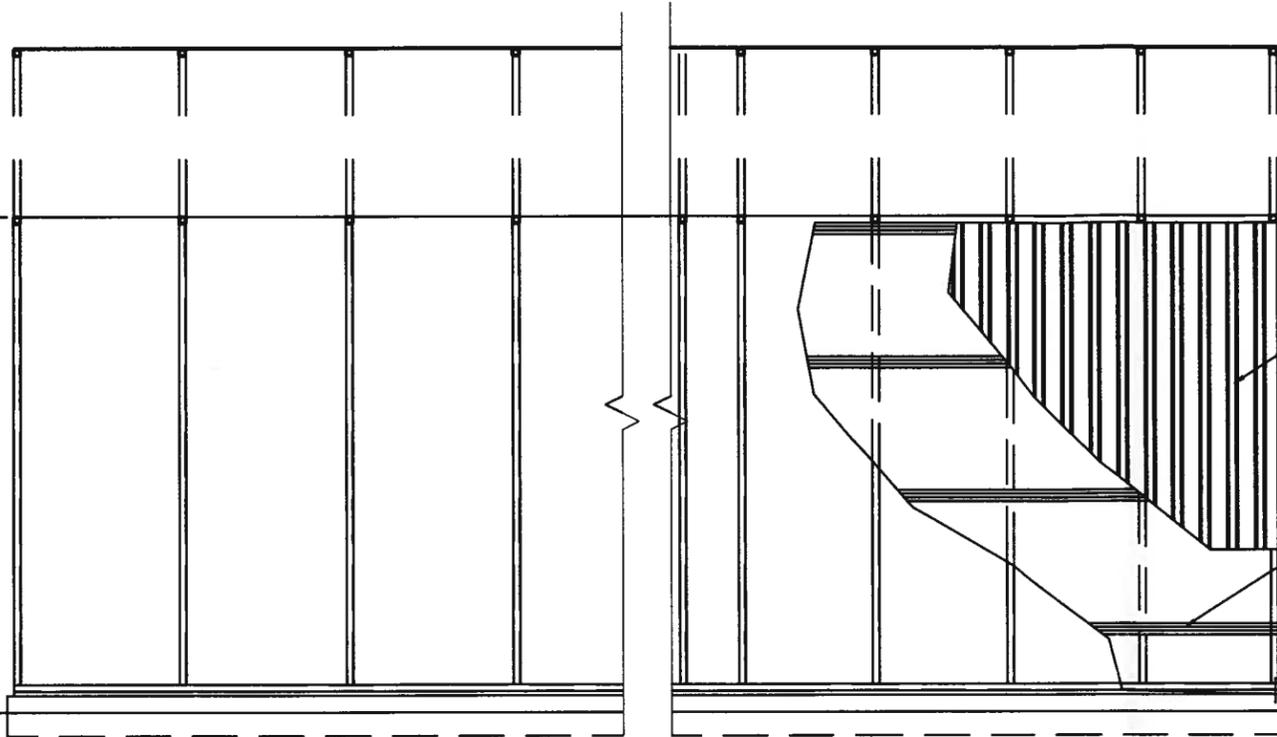
1511-019-S-004

REV.

0

T / WALL
14'-0"

F.F.
0'-0"



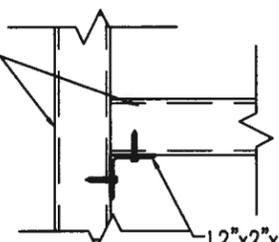
METAL WALL SIDING
26 GA OR 29 GA

1 1/2" GIRT HAT
CHANNEL @ 48" O.C.
ATTACHED WITH
(2) TEKS SELF-DRILL
FASTENER 1/4"-14x3/8"

ENCLOSED WALL FRAMING

3/16" = 1'-0"

TS 2 1/2"



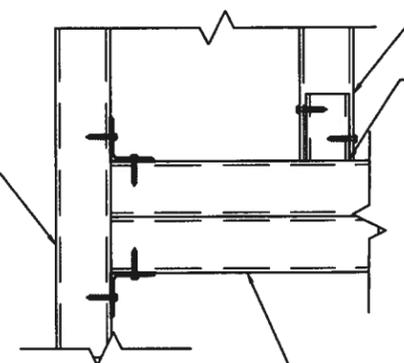
L2"x2"x16 GA
ANGLE CLIP ATTACHED TO
TUBE STRUCTURE WITH
TEKS SELF-DRILL FASTENER
1/4"-14x3/4" EACH LEG

1 NON-STRUCTURAL HEADER
1 1/2" = 1'-0"

TS 2 1/2" POIST

TS 2 1/4"x2 1/4"x0'-6"x14 GA
NIPPLE WITH (2) 1/4" TEK SCREWS

TS 2 1/2" POST



(2) TS 2 1/2"

2 STRUCTURAL HEADER
1 1/2" = 1'-0"

Handwritten signature and date: 3/20/16

Gill
Engineering Services, Inc.

GILL ENGINEERING SERVICES, INC.
AUTH # 30824
GARY GILL, PE 51942
426 SW COMMERCE DR 130-M
LAKE CITY, FL 32025
386-590-1242

REV	DESCRIPTION	APPRD	DATE	CHK'D	DATE
0	RELEASED FOR CONSTRUCTION	GG	3/15	GG	3/15

TUBULAR BUILDING SYSTEMS
12 - 30 FT SPAN STEEL BUILDINGS

STRUCTURAL DETAILS

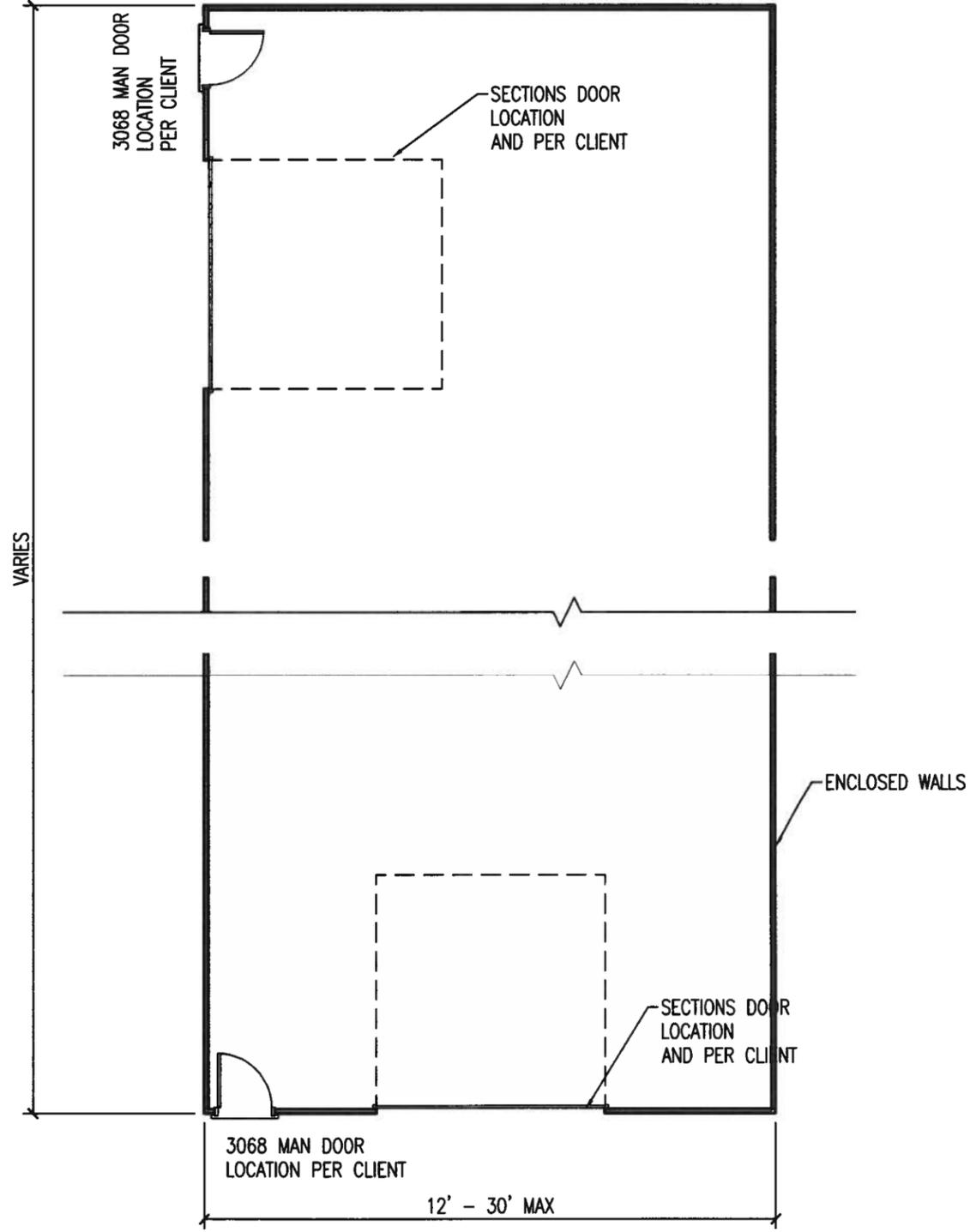
DWG. NO. 1511-019-S-005

PROJECT #: **1511-019**

SHT. **8**

REV. **0**

TITLE



ENCLOSED FLOOR PLAN
1/8" = 1'-0"

Gill
1/28/16

REV	DESCRIPTION	APPRD	DATE	CHK'D	DATE
0	RELEASED FOR CONSTRUCTION	GG	3/15	GG	3/15

TUBULAR BUILDING SYSTEMS
12 - 30 FT SPAN STEEL BUILDINGS

TITLE
ENCLOSED STRUCTURE

PROJECT #: **1511-019**

DWG. NO. 1511-019-S-006

SHT. **9**

REV. **0**

Gill
Engineering Services, Inc.

GILL ENGINEERING SERVICES, INC.
AUTH # 30824
GARY GILL, PE 51942
426 SW COMMERCE DR 130-M
LAKE CITY, FL 32025
386-590-1242

DESIGN CRITERIA

DESIGN PER 2014 FLORIDA BUILDING CODE WITH 2009 UPDATES UNLESS OTHERWISE NOTED.

LIVE LOADS:

- FLOOR LIVE LOAD = 40 PSF
- MAXIMUM DEFLECTION = L / 240

CONCRETE

- ALL CONCRETE DESIGNED PER CURRENT EDITION OF ACI 318
- ALL CONCRETE SHALL BE CONTROLLED CONCRETE.
- CONCRETE SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS:
 - A. FOUNDATION WALLS, PIERS AND FOOTINGS.....3000 PSI
 - B. SLABS ON GRADE.....3000 PSI
 - C. ALL OTHER CONCRETE.....3000 PSI
- ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE WITH A NOMINAL AIR DRY DENSITY OF 145 PCF.
- MINIMUM ELAPSED TIME BETWEEN ADJACENT CONCRETE PLACEMENTS SHALL BE 48 HRS.
- CONCRETE MIX DESIGN FOR EACH TYPE AND STRENGTH OF CONCRETE SPECIFIED SHALL BE SUBMITTED FOR ARCHITECT /ENGINEER REVIEW 30 DAYS PRIOR TO PLACEMENT OF CONCRETE.
- ALL REINFORCING STEEL ASTM A615 GRADE 60, ALL WELDED WIRE FABRIC ASTM A185

STRUCTURAL STEEL

- MATERIALS SHALL BE AS FOLLOWS:
 - W-SHAPES.....ASTM 992, Fy=50 KSI
 - OTHER SHAPES & PLATES.....ASTM A36, Fy=36 KSI
 - HSS SQUARE & RECTANGULAR SHAPES.....ASTM A500 GRADE B, Fy= 46 KSI
 - HSS ROUND SHAPES.....ASTM A653 GRADE B, Fy= 42 KSI
 - STEEL PIPES.....ASTM A53 GRADE B, Fy= 35 KSI
 - WELDING ELECTRODES.....AWS A5.1 OR A5.5 SERIES E70
 - HIGH-STRENGTH BOLTS.....1/2"Ø ASTM A325
 - ANCHOR RODS.....GRADE 36 ASTM F1554
 - WELDED STUDS.....ASTM A108
 - DEFORMED BARS.....ASTM A496
 - PAINT & PROTECTION.....SSPC PAINT 25
- DESIGN PER MOST CURRENT EDITION OF THE AISC "MANUAL OF STEEL CONSTRUCTION DESIGN", UNLESS OTHERWISE NOTED.
- PROVIDE STRUCTURAL STEEL HAVING A MINIMUM YIELD STRENGTH OF 36 KSI THAT MEETS ASTM A36 STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.
- SUBMIT SHOP DRAWINGS TO THE ARCHITECT SHOWING ERECTION PLANS, FABRICATED ASSEMBLIES AND ACCESSORIES. SHOW MEMBER DESIGNATIONS, SIZES AND CONNECTIONS.
- MAKE CONNECTIONS WITH HIGH STRENGTH A325 BOLTS OR WELDS USING E70 ELECTRODES. DETAIL BOLTED SHEAR CONNECTIONS FOR MAXIMUM END REACTIONS OF MEMBER SUPPORTED AND WELDED JOINTS FOR FULL STRENGTH OF MEMBERS CONNECTED.
- PROVIDE TEMPORARY BRACING TO HOLD STRUCTURAL STEEL SECURELY IN POSITION DURING ERECTION. DO NOT REMOVE BRACING UNTIL PERMANENT BRACING IS INSTALLED.

CODES AND STANDARDS:

- WELDS SHALL CONFORM TO THE AMERICAN WELDING SOCIETY, AWS D1.1 USING E70 ELECTRODES
- BOLTS AND BOLTED CONNECTIONS SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLT" USE BEARING TYPE BOLTS WITH THREADS ACROSS THE SHEAR PLANE.
- NO SPLICES SHALL BE ALLOWED IN ANY STRUCTURAL STEEL MEMBER UNLESS SHOWN ON APPROVED SHOP DRAWINGS.
- ALL MEMEBERS EXCEPT THOSE TO BE FIELD WELDED SHALL RECEIVE ONE COAT OF SHOP PRIMER PAINT.
- NO OPENINGS SHALL BE ALLOWED IN STEEL MEMBERS UNLESS SHOWN ON THE DRAWINGS.
- OPENINGS, COPEES AND OTHER STEEL CUTTING SHALL HAVE A 1/2" MINIMUM RADIUS.
- ALL BEAMS SHALL BE FABRICATED AND EERECTED WITH THE NATURAL CAMBER UP.
- WELDS NOT DESIGNED SHALL BE A FILLET WELD EQUAL TO 1/16" LESS THAN THE LEAST THICK MEMBER, ALL WELDS SHALL BE CLEANED AND PAINTED.

REINFORCING

- ALL BAR REINFORCEMENT SHALL CONFORM TO ASTM 615 GRADE 60
- WELDED WIRE FABRIC REINFORCEMENT SHALL CONFORM TO ASTM A185.
- CLEARANCE OF MAIN REINFORCEMENT FROM ADJACENT SURFACES SHALL CONFORM TO THE FOLLOWING (UNLESS OTHERWISE SHOWN IN DETAIL)
 - A. UNFORMED SURFACES IN CONTACT WITH GROUND(FOOTING OR WALL BOTTOM)3"
 - B. SLABS ON GRADE.....2 1/2"
 - C. FORMED SURFACE IN CONTACT WITH GROUND OR EXPOSED TO WEATHER 3'
 - D. IN ALL CASES, CLEARANCE NOT LESS THAN DIAMETER OF BARS.
 NOTE: MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE + 1/4" FOR SECTIONS 10" OR LESS AND + 1/2" FOR SECTIONS OVER 10" THICK.
- REINFORCEMENT SHALL BE CONTINUOUS THROUGH ALL CONSTRUCTION JOINTS UNLESS OTHERWISE INDICATED ON DRAWINGS.
- WHERE REINFORCEMENT IS NOT SHOWN ON DRAWINGS, PROVIDE REINFORCEMENT IN ACCORDANCE WITH APPLICABLE TYPICAL DETAILS OR SIMILAR TO THAT SHOWN FOR MOST NEARLY SIMILAR SITUATIONS, AS DETERMINED BY THE ARCHITECT/ENGINEER. IN NO CASE SHALL REINFORCEMENT BE LESS THAN MINIMUM PERMITTED BY APPLICABLE CODES.
- ALL WORKMANSHIP AND MATERIAL SHALL CONFORM TO THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI-315)
- WHERE CONTINUOUS BARS ARE CALLED FOR THEY SHALL BE RUN CONTINUOUSLY AROUND CORNERS, LAPPED AT NECESSARY SPLICES AND HOOKED AT DISCONTINUOUS ENDS.
- WELDED WIRE FABRIC SHALL BE LAPPED ONE FULL MESH PANEL OR 6" MINIMUM.
- ALL REINFORCING SPLICES SHALL CONFORM TO THE TABLE(S) PROVIDED IN THE GENERAL NOTES FOR STRENGTH OF CONCRETE BUT IN NO CASE LESS THAN THE REQUIREMENTS OF THE LATEST EDITION OF ACI-318.
- BAR SUPPORTS SHALL BE GALVANIZED OR STAINLESS STEEL. BAR SUPPORTS IN CONTACT WITH EXPOSE SURFACES SHALL BE GALVANIZED AND PLASTIC TIPPED.

FOUNDATIONS

- ALL FINISHED EXCAVATIONS AND BEARING GRADES SHALL BE INSPECTED AND APPROVED BY THE OWNERS SOIL TESTING AGENCY BEFORE ANY CONCRETE IS PLACED.
- ALL FOUNDATION WALLS SHALL BE BRACED DURING THE OPERATION OF BACKFILLING AND COMPACTION RACING SHALL BE LEFT IN POSITION UNTIL PERMANENT RESTRAINTS ARE EFFECTIVE. BACKFILL NO FOUNDATION WALLS UNTIL PERMANENT LATERAL STRUCTURAL SUPPORT SYSTEM IS IN PLACE AND OF ADEQUATE STRENGTH TO WITHSTAND THE APPLIED LATERAL PRESSURES.
- ALL FOOTING SUBGRADES, AS REQUIRED, AND ALL SLAB SUBGRADES SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT BASED ON LABORATORY DESIGNATION ASTM D1557.
- COMBINED AND INDIVIDUAL FOOTINGS AR DESIGNED TO BEAR ON UNIFORM SOIL CAPABLE OF SUPPORTING 2,000 PSF. CONTINUOUS FOOTINGS ARE DESIGNED TO BEAR ON SOIL CAPABLE OF SUPPORTING 2,000 PSF.

FASTENERS SELF-DRILLING TAPPING SCREWS

- ALL FASTENERS SHALL BE ITW BUILDDEX TEKS SELF-DRILLING FASTENER 1/4-14x 3/4"HWD
- INSTALLATION OF THE FASTENERS MUST BE IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTION.
- THE SCREWS MUST BE INSTALLED PERPENDICULAR TO THE WORK SURFACE USING A SCREW DRIVING TOOL
- THE SCREWS MUST BE PENETRATE THROUGH THE SUPPORTING STEEL WITH A MINIMUM OF THREE THREADS PROTRUDING PAST THE BACK SIDE OF THE SUPPORTING MEMBER.
- ALLOWABLE CONNECTION STRENGTH FOR USE IN ALLOWABLE STRENGTH DESIGN (ASD) FOR PULL-OUT, PULLOVER, SHEAR (BEARING) CAPACITY FOR COMMON SHEET STEEL THICKNESS ARE PROVIDED BY MANUFACTURER
- MINIMUM SPACING BETWEEN THE CENTER OF FASTENERS OF 3 TIMES THE DIAMETER OF THE SCREWS, AND A MINIMUM DISTANCE FROM THE CENTER OF A FASTENER TO THE EDGE OF ANY CONNECTED PART OF 1.5 TIMES THE DIAMETER OF THE SCREW.

Handwritten signature and date: 4/28/16



GILL ENGINEERING SERVICES, INC.
 AUTH # 30824
 GARY GILL, PE 51942
 426 SW COMMERCE DR 130-M
 LAKE CITY, FL 32025
 386-590-1242

RELEASED FOR CONSTRUCTION		GG	3/15	GG	3/15
DESCRIPTION		APPRD	DATE	CHK'D	DATE
0	REV				
TUBULAR BUILDING SYSTEMS					
12 - 30 FT SPAN STEEL BUILDINGS					
GENERAL NOTES					
TITLE					
PROJECT #: 1511-019					
DWG. NO. 1511-019-S-007					
SHT. 10					
REV. 0					



BOA 2016-12
317 S. 4th Street
April 13, 2016

BOARD OF ADJUSTMENT STAFF REPORT

Case Number	2016-12
Meeting Date	April 20, 2016
Owner/Applicant	Donald and Donna Rushlow / Douglas Mackle
Property Location:	317 S. 4 th Street
Parcel Number:	00-00-31-1800-0274-0190
Requested action:	VARIANCE from LDC Sections 1.03.05(A) In order to maintain open space, visual corridors, neighborhood character, property values and visual attractiveness of residential areas, wherever there may exist a single-family residence, a two-family residence building or any auxiliary buildings or structure, including but not limited to, swimming pools, or any other improvement which was heretofore constructed on property containing one or more platted lots or portions thereof (excluding walls or fences), such lots shall thereafter constitute one building site and shall be considered the "lot of record" and no permit shall be issued for the construction of more than one residence or two-family building on the site. All construction on the building site must comply with all existing zoning and density requirements.
Current zoning:	R-2
FLUM land use category:	Medium Density Residential
Existing uses on the site:	Single family House

All required application materials have been received. All fees have been paid. All required notices have been made.

I. SUMMARY OF REQUEST AND BACKGROUND INFORMATION:

317 South 4th Street is a 75' X 100' lot with an existing single family home that was built in 1959. Lots 19, 20, and 21 of Block 274 were originally platted by The Florida Railroad Company in 1857, and enlarged, revised and reissued by The Florida Town Improvement Company in 1887 and 1901¹. The sections of the City with the 25' lots equates to a density of 18 dwelling units per acre.

Today the existing single family home is built over all three underlying platted lots of record. This property is currently zoned R-2 which as a minimum lot width of 50 feet and a maximum density of 8 dwelling units per acre. In Both the Comprehensive Plan and Land Development Code we honor those platted lots of record even though a 25' X 100' lot does not meet the density and minimum lot width requirement.

The applicant is seeking a variance from the above referenced section of the Land Development Code that acknowledges most of those historically platted lots were combined and built over giving us the development pattern we see today. As the code states these lots are not considered the "lot of record." This property owner does not have the option of pursuing a minor subdivision/lot line adjustment as would be the case otherwise. Land Development Code section 1.03.05(C) specifically requires that the change to the lot come before the Board of Adjustment

The applicant is seeking to restore the three underlying platted lots of record to enable flexibility in their sale.

¹ The Florida Town Improvement Company Plat 1901



BOA 2016-12
317 S. 4th Street
April 13, 2016

II. **CONSISTENCY WITH THE COMPREHENSIVE PLAN:**

The following Comprehensive Plan statements are applicable in this case:

- Policy 1.02.07 – The City shall implement the Fernandina Beach Comprehensive Plan in a manner that acknowledges private property rights.
- Policy 1.02.10 – The City shall protect privacy and access to light, air, and open space. The City shall consider regulations such as building placement on a site, building design, and building orientation as one means to achieve this policy.

III. **CONSISTENCY WITH THE LAND DEVELOPMENT CODE:**

Variance procedures and criteria are set forth in Sections 10.02.01 through 10.02.04.

- Section 10.02.01(B) states that the BOA may authorize a variance from the design and improvement standards of the LDC, except for areas within the Historic District Overlay or the CRA Overlay, where requirements of Section 10.02.00 are met.
- Section 10.02.02(B) states that the applicant for a variance has the burden of proof of demonstrating that the variance application complies with each of the requirements of Section 10.02.02(A).
- Section 10.02.04 sets forth the application requirements. This application includes information necessary for the BOA to make the required findings.
- Section 10.02.01(C) sets forth the limitations on the grant of a variance:
 1. A variance shall not be granted which authorizes a use that is not permissible in the zoning district in which the property subject to the variance is located.
 2. A variance shall not be granted which authorizes any use or standard that is prohibited by the City's Comprehensive Plan.
 3. No nonconforming use of adjacent lands, structures, or buildings in the same zoning district, and no permitted use of land, structures, or buildings in other zoning districts, shall be considered grounds for the authorization of a variance.
 4. A variance shall not change the requirements for concurrency.
 5. A variance shall not be granted to permit the use of a single media peonia for the construction of a dwelling unit.
 6. A variance shall not be granted if the evidence submitted by an applicant is a demonstration of financial hardship or economic considerations.
 7. A variance shall not be granted for procedure or process components of this Land Development Code.
 8. A variance shall not be granted to deviate from LDC section 4.02.02 to combine two (2) or more lots which would result in a lot width greater than 100 feet for lots or parcels that abut Ocean Avenue, North Fletcher Avenue, or South Fletcher Avenue.

Staff's review of this application finds it is not subject to any of these limitations and can therefore be considered by the Board.



BOA 2016-12
 317 S. 4th Street
 April 13, 2016

I. SECTION 10.02.02(A) – REQUIRED FINDINGS FOR GRANTING OF A VARIANCE

In order for an application for a variance to be approved or approved with conditions, the BOA shall make a positive finding with regard to each of the following provisions:

Consistent with Criteria?

All questions must be answered in the affirmative in order for staff to recommend approval of a variance. Negative answers must be addressed in the findings.

<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>1. <u>Special Conditions</u>: <i>Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district. Special conditions or circumstances do not result from actions of the applicant and are not based on a desire to reduce development costs.</i></p> <p>Yes. Special conditions <u>do not</u> exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district. There are numerous examples of single homes that were built over the underlying platted lots of record in the neighborhoods surrounding the City’s Central Business District.</p>
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>2. <u>Special Privilege</u>: <i>Granting the variance does not confer upon the applicant a special privilege that is denied by the Land Development Code to other lands, structures, or buildings in the same zoning district.</i></p> <p>No. Granting the variance <u>does confer</u> upon the applicant a special privilege that is denied by the Land Development Code to other lands, structures, or buildings in the same zoning district. If this were a previously undeveloped property only combined for tax purposes they could restore the underlying platted lots by simply going to the Property Appraiser’s Office; however, any improvement as stated in the specific section of code establishes a new lot of record.</p>
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>3. <u>Literal Interpretation</u>: <i>Literal interpretation of the provisions of the Land Development Code would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district.</i></p> <p>No. Literal interpretation of the Land Development Code <u>would not</u> deprive the applicant of rights enjoyed by others properties. There are specific sections of the Land Development Code that speak to both honoring underlying platted lots of record, and sections that restrict redevelopment of properties where improvements have been made over multiple lots.</p>
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>4. <u>Minimum Variance</u>: <i>The variance requested is the minimum variance needed that will make possible the reasonable use of the land, structure, or building.</i></p> <p>No. The variance requested <u>is not</u> the minimum variance needed to make possible the reasonable use of the land, structure, or building. A variance would still be needed in order to establish 50’ lots. A 50’ lot is the minimum variance that would meet the requirements of the current Land Development Code.</p>



BOA 2016-12
 317 S. 4th Street
 April 13, 2016

<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<p>5. <u>General Harmony</u>: Granting the variance will be in harmony with the general intent and purpose of the Land Development Code and Comprehensive Plan.</p> <p>Yes. Granting the variance <u>will</u> be in harmony with the general intent and purpose of Land Development Code and Comprehensive Plan. Both honor underlying platted lots of record. Specifically, Comprehensive Plan Policy 1.05.04 and Land Development Code section 4.02.01(J)(4)</p>
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<p>6. <u>Public Interest</u>: Granting the variance is compatible with surrounding properties, will not cause injury to the area involved, or otherwise be detrimental to the public health, safety, welfare or environment.</p> <p>Yes. Granting of a variance <u>is</u> compatible with surrounding properties, will not cause injury to the area involved, or otherwise be detrimental to the public health, safety, welfare or environment. Granting of the variance is compatible with surrounding properties and the City's downtown area. It will not otherwise be detrimental to the public health, safety, welfare of the environment.</p>

V. ANALYSIS:

The variance requested is consistent/inconsistent with the criteria for granting a variance as follows:

	Consistent	Inconsistent
1. Special Conditions		X
2. Special Privilege		X
3. Literal Interpretations		X
4. Minimum Variance		X
5. General Harmony	X	
6. Public Interest	X	

The applicant appears to meet criteria 5 and 6 but does not meet 1, 2, 3 and 4 therefore staff recommends denial.



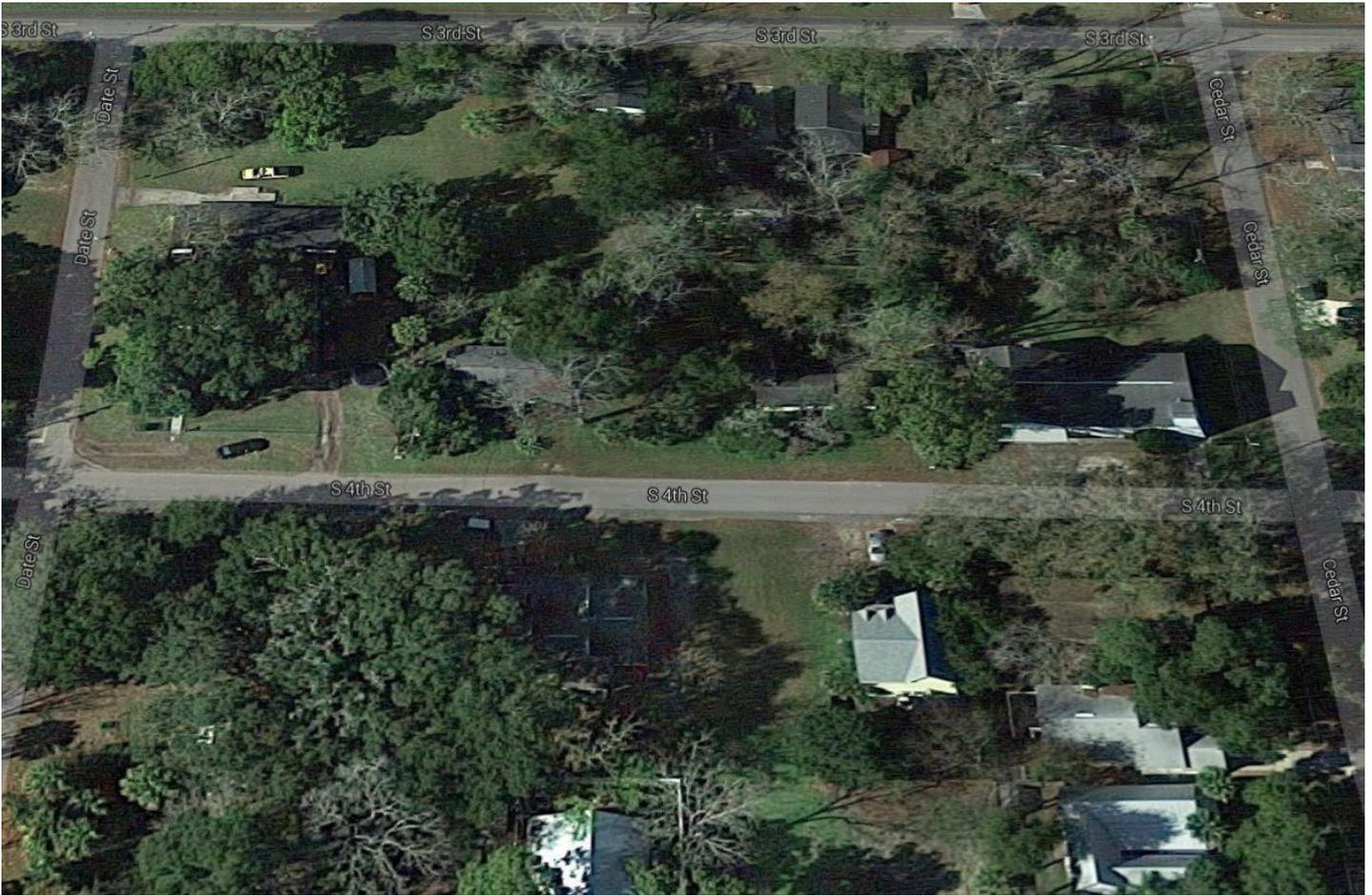
BOA 2016-12
317 S. 4th Street
April 13, 2016

VI. MOTION TO CONSIDER:

I move to approve or deny BOA case number 2016-12; AND I move that the BOA make the following findings of fact and conclusions of law part of the record: That BOA case 2016-12, item, as presented, is or is not substantially compliant with the Comprehensive Plan and Land Development Code to warrant approval at this time.

A handwritten signature in blue ink, appearing to read "J. Platt", is written over a faint, illegible printed name.

Jacob M. Platt, Planner I
Community Development Department



317 S 4th Street – 75' x 100' – three underlying platted lots of record



OFFICE USE ONLY

REC'D: 3/18/16 BY: BF
PAYMENT: \$ 656.00 TYPE: CIL 3323832
APPLICATION #: 2016-0000441
CASE #: BOA 2016-12
BOARD MEETING DATE:



APPLICATION FOR VARIANCE FROM THE LDC

APPLICANT INFORMATION

Owner Name: Donald and Donna Rushlow
Mailing Address: 3694 Hedrick Street Jacksonville Florida 32205
Telephone: 904-551-7607 Fax:
Email: donrus2000@yahoo.com

Agent Name: Douglas Mackle
Mailing Address: Coldwell Banker 311 Centre Street Fernandina Beach, Fl. 32034
Telephone: 904-753-3332 Fax: 888-316-0745
Email: dfmackle@gmail.com

PROPERTY INFORMATION

Street Address: 317 South 4th Street Fernandina Beach Florida 32034
Parcel Identification Number(s): 00-00-31-1800-0274-0190
Lot Number: 19,20,21 Block Number: 274

PROJECT INFORMATION

Variance(s) requested from LDC Section(s): 1.03.05

Brief description of work proposed (use additional sheets if necessary):
We are requesting this 75x100 lot be restored to its original 25' platted lots of record

In order for an application for a variance to be approved or approved with conditions, the BOA or the HDC must make a positive finding with regard to each of the provisions below. The applicant has the burden of proof of demonstrating that the application for a variance complies with each of the requirements. Please explain in detail how your case meets the following requirements:

1. **Special Conditions:** Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district. Special conditions or circumstances do not result from actions of the applicant and are not based on a desire to reduce development costs.

317 S. 4th street (75x 100) was built on three parcels, which is very peculiar. The current Land Development Code was not in place when this house was built in 1959. Granting this variance would adjust the current conditions and circumstances and make possible the reasonable use of the Land and the current Land Structure Code

2. **Special Privilege:** Granting the variance does not confer upon the applicant a special privilege that is denied by the Land Development Code to other lands, structures, or buildings in the same zoning district.

Granting this variance does not confer any special privileges to the applicant.

3. **Literal Interpretation:** Literal interpretation of the provisions of the Land Development Code would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district.

There are other homes in the neighborhood, built on 25' platted lots of record that do not meet the current min width and standards requirements of the current Land Development Code. Yet the city honors those lots because they are platted lots of record.

4. **Minimum Variance:** The variance requested is the minimum variance needed that will make possible the reasonable use of the land, structure, or building.

We are only requesting this one variance. The variance requested will make possible the reasonable use of the Land Structure Code as well as reasonable use of the land.

5. **General Harmony:** Granting the variance will be in harmony with the general intent and purpose of the Land Development Code and Comprehensive Plan.

Yes, granting this variance would be in harmony with the general intent and purpose of the LDC and Comprehensive Plan as both discuss honoring platted lots of land.

6. Public Interest: Granting the variance is compatible with surrounding properties, will not cause injury to the area involved, or otherwise be detrimental to the public health, safety, welfare or environment.
Yes, granting this variance would be in the best public interest as it would allow compatibility with the surrounding properties

If your property is located within the Historic Districts or the Community Redevelopment Area, please fill out responses to the supplemental variance criteria, attached as Appendix A, on a separate sheet of paper.

SIGNATURE/NOTARY

The undersigned states the above information is true and correct as (s)he is informed and believes.

3/17/2016
Date

Donna Roshon Dulin
Signature of Applicant 5

STATE OF FLORIDA }
COUNTY OF DUVAL ^{SS} }
~~DUVAL~~ }
~~NASSAU~~ }

Subscribed and sworn to before me this 17 day of March, 2016.
Nenita S. Black NENITA S. BLACK
Notary Public: Signature Printed Name

12/23/17
My Commission Expires

Personally Known _____ OR Produced Identification ID Produced: FDL





OWNER'S AUTHORIZATION FOR AGENT REPRESENTATION

I /WE Donna and Donald Rushlow
(print name of property owner(s))

hereby authorize: Douglas Mackle
(print name of agent)

to represent me/us in processing an application for: Planning Variance
(type of application)

on our behalf. In authorizing the agent to represent me/us, I/we, as owner/owners, attest that the application is made in good faith and that any information contained in the application is accurate and complete.

Donald Rushlow
(Signature of owner)

Donna Rushlow
(Signature of owner)

Donald Rushlow
(Print name of owner)

Donna Rushlow
(Print name of owner)

STATE OF FLORIDA
COUNTY OF Duval }
NASSAU

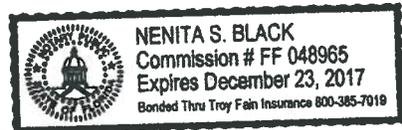
Subscribed and sworn to before me this 17 day of March, 2016.

Nenita S. Black
Notary Public: Signature

NENITA S. BLACK
Printed Name

12/23/17
My Commission Expires

Personally Known _____ OR Produced Identification _____ ID Produced: FOL



NASSAU

A. Michael Hickox, CFA, Cert.Res.RD1941
Nassau County Property Appraiser

Property Search Sales Search Nassau Home

OWNER NAME RUSHLOW DON &
MAILING ADDRESS GUEST-RUSHLOW DONNA T (H&W)
86249 TIMBER RIDGE STREET

YULEE, FL 32097
LOCATION ADDRESS 317 4TH ST S
FERNANDINA BEACH 32034
SHORT LEGAL BLOCK 274 LOTS 19 20 & 21 IN OR
1572/1437 CITY OF FDNA BEACH

PARCEL NUMBER 00-00-31-1800-0274-0190
TAX DISTRICT FERNANDINA BEACH (DISTRICT 2)
MILLAGE 20.6524
PROPERTY USAGE SINGLE FAMILY
DEED ACRES 0
HOMESTEAD N
PARCEL MAP RECORD [MAP THIS PARCEL](#)
TAX COLLECTOR SEARCH [NASSAU TAX COLLECTOR LINK](#)
PROPERTY RECORD CARD [LINK TO PROPERTY RECORD CARD \(PDF\)](#)

2015 Certified Values

JUST VALUE OF LAND	\$60,000
LAND VALUE AGRICULTURAL	\$0
TOTAL BUILDING VALUE	\$22,927
TOTAL MISC VALUE	\$0
JUST OR CLASSIFIED TOTAL VALUE	\$82,927
ASSESSED VALUE	\$82,927
EXEMPT VALUE	\$0
TAXABLE VALUE	\$82,927

Land Information

LAND USE	LAND UNITS	LAND UNIT TYPE	SEC-TWN-RNG
SFR 000100	75	FF	23-3N-28

Building Information

TYPE	TOTAL AREA	HEATED AREA	BED ROOMS	BATHS	PRIMARY EXTERIOR	SECONDARY EXTERIOR	HEATING	COOLING	ACTUAL YEAR BUILT	BUILDING SKETCH
SINGLE FAM	1,176	792	3	1	COMMON BRK		NONE	NONE	1959	SHOW SKETCH

Miscellaneous Information

There is no Miscellaneous Information for this record.

Sales Information

SALE DATE	BOOK / PAGE	BOOK / PAGE	PRICE	INSTRUMENT	QUALIFICATION	IMPROVED? (AT TIME OF SALE)	GRANTOR	GRANTEE
06/19/2008	1572/1437	1572/1437	110000	PR	U	Y	GUEST-RUSHLOW DONNA T P/R	RUSHLOW DON & DONNA T

3

THIS INSTRUMENT PREPARED BY:

Richard C. Peper, Jr., P.A.
8833 Perimeter Park Blvd. #602
Jacksonville, Florida 32216

RECORD AND RETURN TO:
Richard C. Peper, Jr., P.A.
8833 Perimeter Park Blvd. #602
Jacksonville, Florida 32216

RE PARCEL ID #:
BUYER'S TIN:

Return to: *
First American Title Ins.
3563 Phillips Highway
Building E, Suite 504
Jacksonville, FL 32207

Env

PERSONAL REPRESENTATIVE'S DEED

THIS INDENTURE, without power of sale under will, is made this 13th day of June, 2008 by Donna Turner Guest-Rushlow as personal representative of The Estate of Laverne Turner hereinafter called Grantor, and whose address is 86249 Timber Ridge, Yulee, FL 32097 to Don Rushlow and Donna Turner Guest-Rushlow, husband and wife., hereinafter called Grantee and whose address is 3694 Hedrick Street, Jacksonville, Florida 32205.

(Wherever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

WITNESSETH:

1928590

WHEREAS, Laverne Turner died intestate on August 25, 2005 a resident of Nassau County, Florida; WHEREAS, the above mentioned was appointed Personal Representative of the Estate of Laverne Turner by Order of the Circuit Court of Nassau County, Florida on May 23, 2006;

WHEREAS, an Order Authorizing Sale was entered by Order of the Circuit Court of Nassau County, Florida on June 2, 2008 for \$110,000.00 in Case Number 06-CP-0083;

NOW THEREFORE, pursuant to Section 733.613(1), Florida Statutes (1977) and in consideration of the sum of Ten and NO/100 Dollars and other good and valuable consideration to Grantor in hand paid by Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the Grantee the following described land situate, lying and being in Nassau County, Florida, to wit:

See Attached Exhibit A

R 27.00
Doc 770.00
799.00

317 S. 4th ST.

SUBJECT TO taxes accruing subsequent to December 31, 2007.

SUBJECT TO covenants, restrictions and easements of record, if any; however, this reference thereto shall not operate to reimpose same.

TOGETHER with all the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND Grantor hereby covenants to and with said Grantee that Grantor is the duly appointed, qualified and acting Personal Representative as aforesaid, and in all things preliminary to and in and about the sale and conveyance of the property described herein, the orders of the above named court, and the laws of the State of Florida have been followed and complied with in all respects, and that the undersigned Grantor has the full power and authority to execute this deed for the uses and purposes herein expressed; and that said land is free of all encumbrances.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

[Handwritten Signature]

Witness Signature

Whitney Steink

Witness Printed Signature

[Handwritten Signature]

Witness Signature

Richard C. Peper, Jr.

Witness Printed Signature

Donna Turner Guest-Rushlow

Donna Turner Guest-Rushlow
as Personal Representative
of the Estate of
The Estate of Laverne Turner a/k/a Laverne
Douglas Turner

STATE OF FLORIDA
COUNTY OF DUVAL

The foregoing instrument was acknowledged before me this 13th day of June, 2008 by Donna Turner Guest-Rushlow as personal representative of The Estate of Laverne Turner. He/She is personally known to me or has produced _____ as identification.

Notary Public, State and County Aforesaid

[Handwritten Signature]

Notary Signature

(Title or Rank)

Notary Printed Signature

(Serial No., if any)

 **Richard C. Peper, Jr.**
Commission # DD478511
Expires January 5, 2010
Donated Toy Fair - Insurance, Inc. 800-385-7019

First American Title Insurance Company

Schedule A (Continued)

Agent's File No.:

All that certain lot, piece or parcel of land situate, lying and being in the City of Fernandina Beach, (formerly named Fernandina), County of Nassau and State of Florida and being further described according to the official map or plat of said City (as lithographed and issued by the Florida Railroad Company in 1857 and enlarged, revised and reissued by the Florida Town Improvement Company in 1887 and 1901) as:

Lots 19, 20 and 21 in Block 274.

Donald & Donna Rushlow
86249 Timber Ridge Street
Yulee Florida 32097
904-551-7607
904-234-8511

March 17, 2016

Board of Adjustment
City of Fernandina Beach Comm. Dev. Dept.
204 Ash Street
Fernandina Beach, Fl. 32034

Subject: Application for Variance from the LDC (317 S. 4th St.) (75x100 Lot)

Dear Sir or Madam,

We are requesting this variance to improve our property.

By restoring the original 25 foot platted lots of record the approved variance would create the flexibility to sell both 25 foot and 50 foot lots. In doing so, the lots would be more compatible with the surrounding properties and better fit the improving character of the neighborhood.

The variance requested will make possible the reasonable use of the Land Structure Code and reasonable use of the land. It would also be in harmony with the intent and purpose of the LDC and the Comprehensive Plan, as they both discuss honoring platted lots of record.

We would appreciate the opportunity to be apart of the ongoing restoration and revitalization of our beautiful downtown neighborhood and hope you will approve this variance.

Sincerely,

Donald and Donna Rushlow

JOHN M. DREW, CFC NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS
 NASSAU COUNTY TAX COLLECTOR

ACCOUNT NUMBER	TAX YEAR	TYPE	ALT KEY	MILLAGE CODE	ESCROW
00-00-31-1800-0274-0190	2015	REAL ESTATE	13324	002	

RUSHLOW DON &
 GUEST-RUSHLOW DONNA T (H&W)
 86249 TIMBER RIDGE STREET
 YULEE, FL 32097

317 4TH S
 BLOCK 274 LOTS 19 20 & 21
 IN OR 1572/1437
 CITY OF FDNA BEACH

AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION AMOUNT	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS					
GENERAL FUND	5.9768	82,927	0	82,927	495.64
TRANSPORTATION	0.5902	82,927	0	82,927	48.94
SCHOOL BOARD					
BASIC DISCRETIONARY	0.7480	82,927	0	82,927	62.03
CAPITAL OUTLAY	1.4000	82,927	0	82,927	116.10
SCHOOL BOARD LOCAL EFFORT	5.0050	82,927	0	82,927	415.05
ST JOHNS RIVER MGMT DIST	0.3023	82,927	0	82,927	25.07
FL INLAND NAVIGATION DIST	0.0320	82,927	0	82,927	2.65
MOSQUITO CONTROL DISTRICT	0.1472	82,927	0	82,927	12.21
CITY OF FERNANDINA BEACH					
FERNANDINA BEACH	6.1021	82,927	0	82,927	506.03
VOTER APPROVED DEBT	0.2023	82,927	0	82,927	16.78
TOTAL MILLAGE					\$1,700.50

NON-AD VALOREM ASSESSMENTS		
LEVYING AUTHORITY	RATE	AMOUNT
NON-AD VALOREM ASSESSMENTS		\$0.00

COMBINED TAXES AND ASSESSMENTS	\$1,700.50
---------------------------------------	-------------------

If Paid By	Nov 30, 2015	Dec 31, 2015	Jan 31, 2016	Feb 29, 2016	Mar 31, 2016
Please Pay	1,632.48	1,649.48	1,666.49	1,683.49	1,700.50

JOHN M. DREW, CFC NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS
 NASSAU COUNTY TAX COLLECTOR

ACCOUNT NUMBER	TAX YEAR	TYPE	ALT KEY	MILLAGE CODE	ESCROW
00-00-31-1800-0274-0190	2015	REAL ESTATE	13324	002	

RETURN WITH
 PAYMENT

RUSHLOW DON &
 GUEST-RUSHLOW DONNA T (H&W)
 86249 TIMBER RIDGE STREET
 YULEE, FL 32097

317 4TH S
 BLOCK 274 LOTS 19 20 & 21
 IN OR 1572/1437
 CITY OF FDNA BEACH

PLEASE PAY IN U.S. FUNDS TO JOHN M. DREW, CFC TAX COLLECTOR -86130 LICENSE ROAD, FERNANDINA BEACH FL 32034, OR ONLINE AT WWW.NASSAUTAXES.COM

If Paid By	Nov 30, 2015	Dec 31, 2015	Jan 31, 2016	Feb 29, 2016	Mar 31, 2016
Please Pay	1,632.48	1,649.48	1,666.49	1,683.49	1,700.50

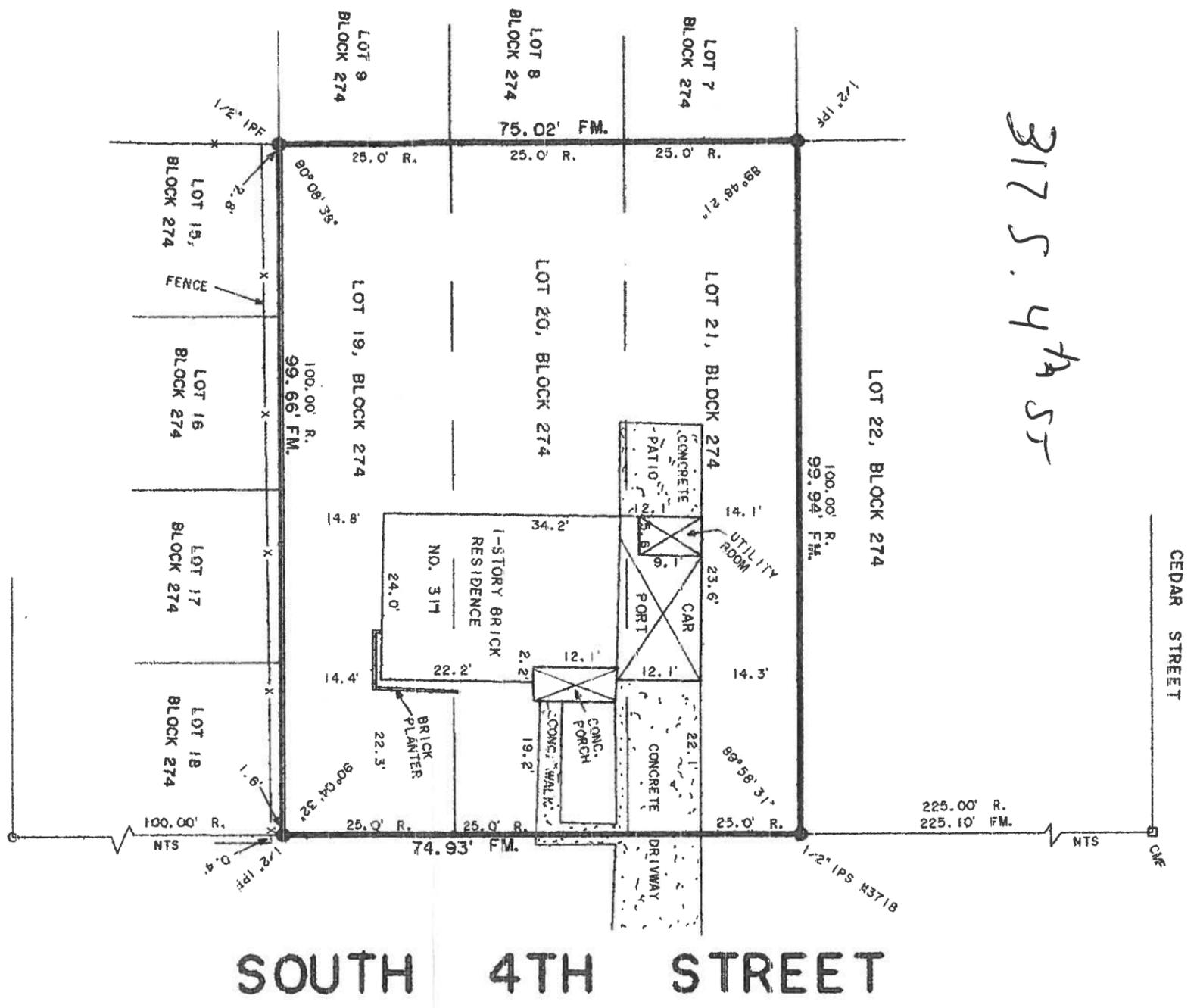
1 0013324 2015 4



MAP SHOWING BOUNDARY SURVEY OF LOTS 19, 20 AND 21, BLOCK 274, LYING AND BEING IN THE CITY OF FERNANDINA BEACH (FORMERLY NAMED FERNANDINA), IN THE COUNTY OF MASSAU AND THE STATE OF FLORIDA, AND KNOWN AND DESCRIBED UPON AND ACCORDING TO THE OFFICIAL PLAT OF SAID CITY (AS LITHOGRAPHED AND ISSUED BY THE FLORIDA RAILROAD COMPANY IN 1857, AND ENLARGED, REVISED AND REISSUED BY THE FLORIDA TOWN IMPROVEMENT COMPANY IN 1887 AND 1901).

FOR: DON & DONNA RUSHLOW

317 S. 4th St



SOUTH 4TH STREET

(60' R/W (PAVED))

COASTAL LAND SURVEYORS

8 MAPPERS, INC.
34 NORTH FOURTEENTH STREET
FERNANDINA BEACH, FLORIDA 32032
TEL. 904-261-8950 FAX 904-277-6650

I HEREBY CERTIFY THE INFORMATION DEPICTED HEREON AS MEETING THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING, CHAPTER 5J-17.050, FLORIDA ADMIN. CODE, AND/OR CHAPTER 180-7, GEORGIA STATUTES.

LICENSED BUSINESS NO. 6412
JAMES C. PEACOCK, PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERTIFICATE NO. 3718
GEORGIA CERTIFICATE NO. 2365
NOT VALID UNLESS EMBOSSED WITH SURVEYORS OFFICIAL SEAL

BEARINGS BASED ON N/A

PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE X AS SHOWN ON

FEMA FLOOD INSURANCE RATE MAP, COMMUNITY NO. 120172, PANEL NO. 0237F
DATED 12-17-10

DATE OF SURVEY: MARCH 15, 2018
SCALE 1" = 20'
JOB NO. 1803-06, F.B. 337

CORNER MARKERS HAVE NO IDENTIFICATION U.H.O.
LEGEND:

- IRON PIPE FOUND - IPF
- IRON PIPE SET - IPS
- REBAR FOUND - RBF
- NOT TO SCALE - NTS
- BUILDING RESTRICTION LINE - BRL
- CONCRETE MONUMENT FOUND - CMF
- STAINLESS STEEL PIPE FOUND - SSPF
- RIGHT-OF-WAY - R/W
- POINT OF CURVE - PC
- CENTERLINE - CL
- POWER LINE - P
- PLAT - P
- FIELD MEASURED - FM
- RECORD - R
- DEED - D
- POWER POLE - PP
- CONCRETE - CONC.
- FENCE - F
- RIGHT-OF-WAY - R/W
- POINT OF TANGENCY - PT
- POINT OF REVERSE CURVE - PRC
- OFFICIAL RECORDS BOOK - O.R.B.

THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.



BOA 2016-13
315 S. 4th Street
April 13, 2016

BOARD OF ADJUSTMENT STAFF REPORT

Case Number 2016-13
Meeting Date April 20, 2016
Owner/Applicant Donna Lynn Guest Rushlow / Douglas Mackle
Property Location: 315 S. 4th Street
Parcel Number: 00-00-31-1800-0274-0220

Requested action: VARIANCE from LDC Sections 1.03.05(A) In order to maintain open space, visual corridors, neighborhood character, property values and visual attractiveness of residential areas, wherever there may exist a single-family residence, a two-family residence building or any auxiliary buildings or structure, including but not limited to, swimming pools, or any other improvement which was heretofore constructed on property containing one or more platted lots or portions thereof (excluding walls or fences), such lots shall thereafter constitute one building site and shall be considered the "lot of record" and no permit shall be issued for the construction of more than one residence or two-family building on the site. All construction on the building site must comply with all existing zoning and density requirements.

Current zoning: R-2
FLUM land use category: Medium Density Residential
Existing uses on the site: Single family House

All required application materials have been received. All fees have been paid. All required notices have been made.

I. SUMMARY OF REQUEST AND BACKGROUND INFORMATION:

315 South 4th Street is a 125' X 100' lot with an existing single family home that was built in 1960. Lots 22, 23, 24, 25, and 26 of Block 274 were originally platted by The Florida Railroad Company in 1857, and enlarged, revised and reissued by The Florida Town Improvement Company in 1887 and 1901¹. The sections of the City with the 25' lots equates to a density of 18 dwelling units per acre.

Today the existing single family home is built over all three underlying platted lots of record. This property is currently zoned R-2 which as a minimum lot width of 50 feet and a maximum density of 8 dwelling units per acre. In Both the Comprehensive Plan and Land Development Code we honor those platted lots of record even though a 25' X 100' lot does not meet the density and minimum lot width requirement.

The applicant is seeking a variance from the above referenced section of the Land Development Code that acknowledges most of those historically platted lots were combined and built over giving us the development pattern we see today. As the code states these lots are not considered the "lot of record." This property owner does not have the option of pursuing a minor subdivision/lot line adjustment as would be the case otherwise. Land Development Code section 1.03.05(C) specifically requires that the change to the lot come before the Board of Adjustment

The applicant is seeking to restore the five underlying platted lots of record to enable flexibility in their sale.

¹ The Florida Town Improvement Company Plat 1901



BOA 2016-13
315 S. 4th Street
April 13, 2016

II. CONSISTENCY WITH THE COMPREHENSIVE PLAN:

The following Comprehensive Plan statements are applicable in this case:

- Policy 1.02.07 – The City shall implement the Fernandina Beach Comprehensive Plan in a manner that acknowledges private property rights.
- Policy 1.02.10 – The City shall protect privacy and access to light, air, and open space. The City shall consider regulations such as building placement on a site, building design, and building orientation as one means to achieve this policy.

III. CONSISTENCY WITH THE LAND DEVELOPMENT CODE:

Variance procedures and criteria are set forth in Sections 10.02.01 through 10.02.04.

- Section 10.02.01(B) states that the BOA may authorize a variance from the design and improvement standards of the LDC, except for areas within the Historic District Overlay or the CRA Overlay, where requirements of Section 10.02.00 are met.
- Section 10.02.02(B) states that the applicant for a variance has the burden of proof of demonstrating that the variance application complies with each of the requirements of Section 10.02.02(A).
- Section 10.02.04 sets forth the application requirements. This application includes information necessary for the BOA to make the required findings.
- Section 10.02.01(C) sets forth the limitations on the grant of a variance:
 1. A variance shall not be granted which authorizes a use that is not permissible in the zoning district in which the property subject to the variance is located.
 2. A variance shall not be granted which authorizes any use or standard that is prohibited by the City's Comprehensive Plan.
 3. No nonconforming use of adjacent lands, structures, or buildings in the same zoning district, and no permitted use of land, structures, or buildings in other zoning districts, shall be considered grounds for the authorization of a variance.
 4. A variance shall not change the requirements for concurrency.
 5. A variance shall not be granted to permit the use of a single media peonia for the construction of a dwelling unit.
 6. A variance shall not be granted if the evidence submitted by an applicant is a demonstration of financial hardship or economic considerations.
 7. A variance shall not be granted for procedure or process components of this Land Development Code.
 8. A variance shall not be granted to deviate from LDC section 4.02.02 to combine two (2) or more lots which would result in a lot width greater than 100 feet for lots or parcels that abut Ocean Avenue, North Fletcher Avenue, or South Fletcher Avenue.

Staff's review of this application finds it is not subject to any of these limitations and can therefore be considered by the Board.



BOA 2016-13
 315 S. 4th Street
 April 13, 2016

I. SECTION 10.02.02(A) – REQUIRED FINDINGS FOR GRANTING OF A VARIANCE

In order for an application for a variance to be approved or approved with conditions, the BOA shall make a positive finding with regard to each of the following provisions:

Consistent with Criteria?

All questions must be answered in the affirmative in order for staff to recommend approval of a variance. Negative answers must be addressed in the findings.

<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>1. <u>Special Conditions</u>: <i>Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district. Special conditions or circumstances do not result from actions of the applicant and are not based on a desire to reduce development costs.</i></p> <p>No. Special conditions <u>do not</u> exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district. There are numerous examples of single homes that were built over the underlying platted lots of record in the neighborhoods surrounding the City’s Central Business District.</p>
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>2. <u>Special Privilege</u>: <i>Granting the variance does not confer upon the applicant a special privilege that is denied by the Land Development Code to other lands, structures, or buildings in the same zoning district.</i></p> <p>No. Granting the variance <u>does confer</u> upon the applicant a special privilege that is denied by the Land Development Code to other lands, structures, or buildings in the same zoning district. If this were a previously undeveloped property only combined for tax purposes they could restore the underlying platted lots by simply going to the Property Appraiser’s Office; however, any improvement as stated in the specific section of code establishes a new lot of record.</p>
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>3. <u>Literal Interpretation</u>: <i>Literal interpretation of the provisions of the Land Development Code would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district.</i></p> <p>No. Literal interpretation of the Land Development Code <u>would not</u> deprive the applicant of rights enjoyed by others properties. There are specific sections of the Land Development Code that speak to both honoring underlying platted lots of record, and sections that restrict redevelopment of properties where improvements have been made over multiple lots.</p>



BOA 2016-13
 315 S. 4th Street
 April 13, 2016

<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>4. <u>Minimum Variance</u>: <i>The variance requested is the minimum variance needed that will make possible the reasonable use of the land, structure, or building.</i></p> <p>No. The variance requested <u>is not</u> the minimum variance needed to make possible the reasonable use of the land, structure, or building. A variance would still be needed in order to establish 50' lots. A 50' lot is the minimum variance that would meet the requirements of the current Land Development Code.</p>
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<p>5. <u>General Harmony</u>: <i>Granting the variance will be in harmony with the general intent and purpose of the Land Development Code and Comprehensive Plan.</i></p> <p>Yes. Granting the variance <u>will</u> be in harmony with the general intent and purpose of Land Development Code and Comprehensive Plan. Both honor underlying platted lots of record. Specifically, Comprehensive Plan Policy 1.05.04 and Land Development Code section 4.02.01(J)(4)</p>
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<p>6. <u>Public Interest</u>: <i>Granting the variance is compatible with surrounding properties, will not cause injury to the area involved, or otherwise be detrimental to the public health, safety, welfare or environment.</i></p> <p>Yes. Granting of a variance <u>is</u> compatible with surrounding properties, will not cause injury to the area involved, or otherwise be detrimental to the public health, safety, welfare or environment. Granting of the variance is compatible with surrounding properties and the City's downtown area. It will not otherwise be detrimental to the public health, safety, welfare of the environment.</p>

V. ANALYSIS:

The variance requested is consistent/inconsistent with the criteria for granting a variance as follows:

	Consistent	Inconsistent
1. Special Conditions		X
2. Special Privilege		X
3. Literal Interpretations		X
4. Minimum Variance		X
5. General Harmony	X	
6. Public Interest	X	

The applicant appears to meet criteria 5 and 6 but does not meet 1, 2, 3 and 4 therefore staff recommends denial.



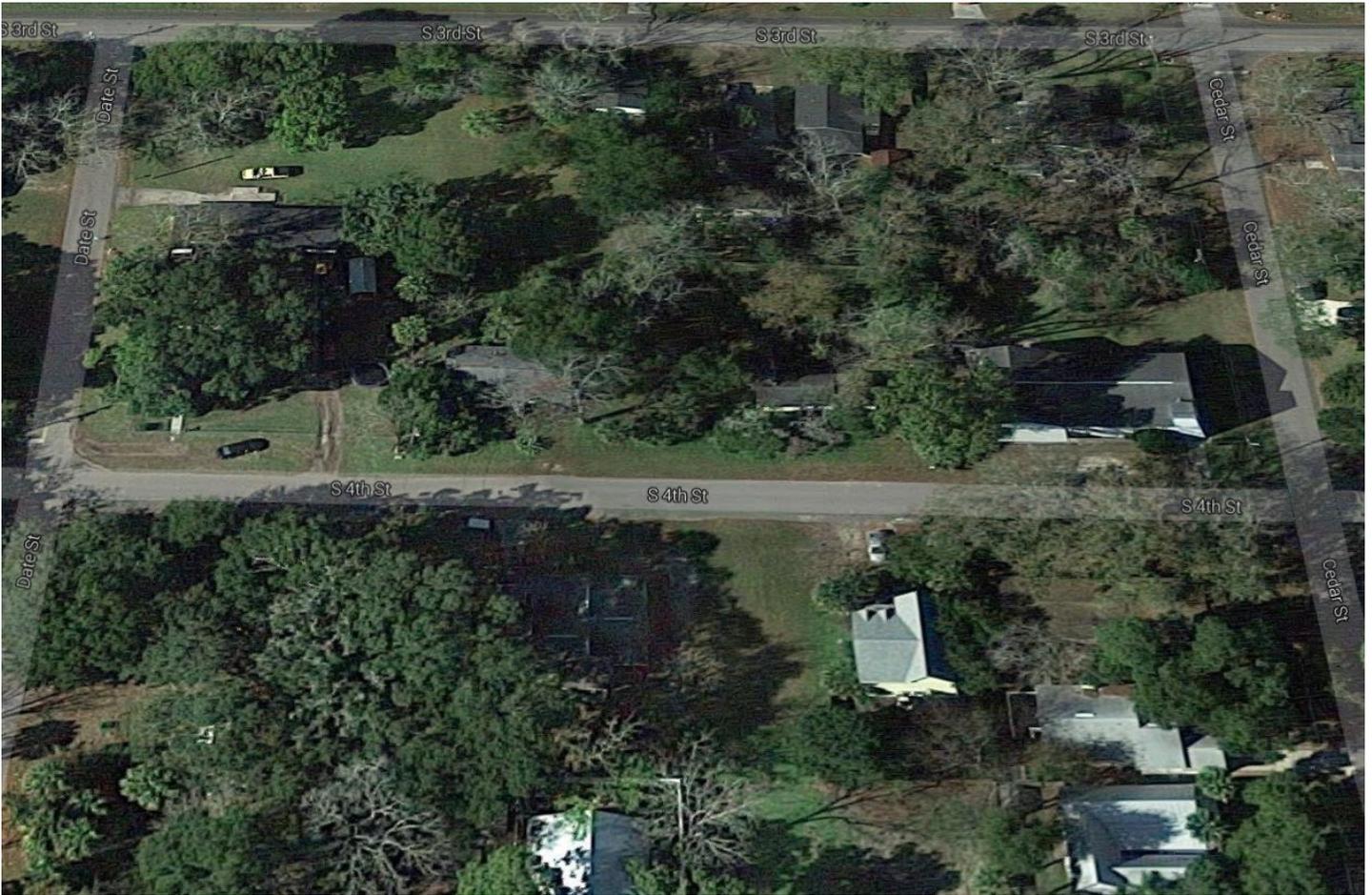
BOA 2016-13
315 S. 4th Street
April 13, 2016

VI. MOTION TO CONSIDER:

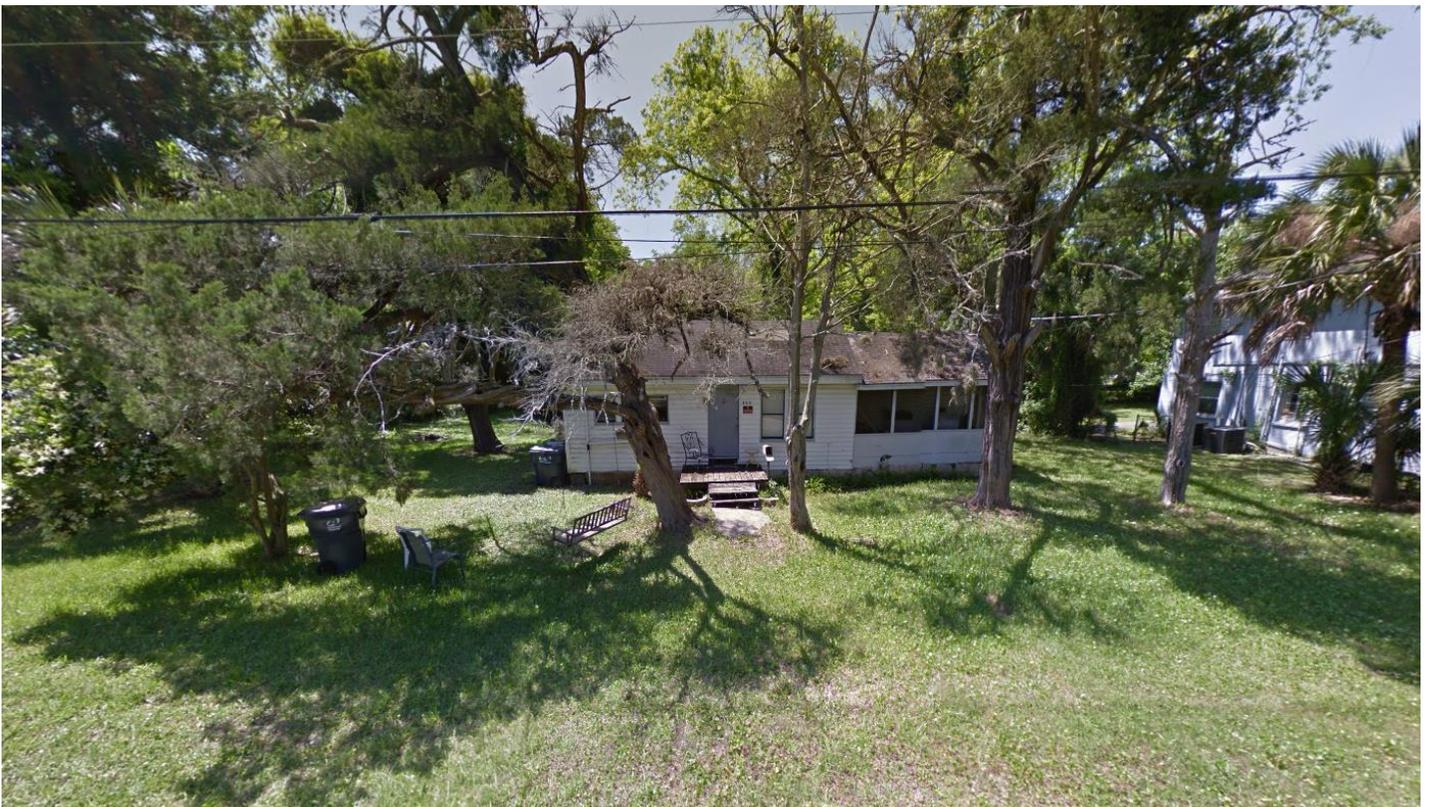
I move to approve or deny BOA case number 2016-13; AND I move that the BOA make the following findings of fact and conclusions of law part of the record: That BOA case 2016-13, item, as presented, is or is not substantially compliant with the Comprehensive Plan and Land Development Code to warrant approval at this time.

A handwritten signature in blue ink, appearing to be "J. Platt", is written over the printed name.

Jacob M. Platt, Planner I
Community Development Department



315 S 4th Street – 125' x 100' – Five underlying platted lots of record



OFFICE USE ONLY

REC'D: 3/18/16 BY: BF

PAYMENT: \$ 650.00 TYPE: CK 3323832

APPLICATION #: 2016-000442

CASE #: BOA 2016-13

BOARD MEETING DATE: _____



APPLICATION FOR VARIANCE FROM THE LDC

APPLICANT INFORMATION

Owner Name: Donna Lynn Guest Rushlow

Mailing Address: 3694 Hedrick Street Jacksonville Florida 32205

Telephone: 904-551-7607 **Fax:** _____

Email: donrus2000@yahoo.com

Agent Name: Douglas Mackle

Mailing Address: Coldwell Banker 311 Centre Street Fernandina Beach, Fl. 32034

Telephone: 904-753-3332 **Fax:** 888-316-0745

Email: dfmackle@gmail.com

PROPERTY INFORMATION

Street Address: 315 South 4th Street Fernandina Beach Florida 32034

Parcel Identification Number(s): 00-00-31-1800-0274-0220

Lot Number: 22,23,24,25,26 **Block Number:** 274

PROJECT INFORMATION

Variance(s) requested from LDC Section(s): 1.03.05

Brief description of work proposed (use additional sheets if necessary):
We are requesting this 125x100 lot be restored to its original 25' platted lots of record.

In order for an application for a variance to be approved or approved with conditions, the BOA or the HDC must make a positive finding with regard to each of the provisions below. The applicant has the burden of proof of demonstrating that the application for a variance complies with each of the requirements. Please explain in detail how your case meets the following requirements:

1. **Special Conditions:** Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district. Special conditions or circumstances do not result from actions of the applicant and are not based on a desire to reduce development costs.

The Current Land Development Code was not in place when this house was built in 1960

Granting this variance:

would adjust the current conditions and circumstances and make possible the reasonable use of the Land and the current Land Structure Code

2. **Special Privilege:** Granting the variance does not confer upon the applicant a special privilege that is denied by the Land Development Code to other lands, structures, or buildings in the same zoning district.

Granting this variance does not confer any special privileges to the applicant.

3. **Literal Interpretation:** Literal interpretation of the provisions of the Land Development Code would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district.

There are other homes in the neighborhood, built on 25' platted lots of record that do not meet the current min width and standards requirements of the current Land Development Code. Yet the city honors those lots because they are platted lots of record.

4. **Minimum Variance:** The variance requested is the minimum variance needed that will make possible the reasonable use of the land, structure, or building.

We are only requesting this one variance for this property. Variance requested will make possible the reasonable use of the Land Structure Code as well as reasonable use of the land.

5. **General Harmony:** Granting the variance will be in harmony with the general intent and purpose of the Land Development Code and Comprehensive Plan.

Yes, granting this variance would be in harmony with the general intent and purpose of the LDC and Comprehensive Plan as both discuss honoring platted lots of land.



OWNER'S AUTHORIZATION FOR AGENT REPRESENTATION

I /WE Donna Lynn Guest Rushlow
(print name of property owner(s))

hereby authorize: Douglas Mackle
(print name of agent)

to represent me/us in processing an application for: Planning Variance
(type of application)

on our behalf. In authorizing the agent to represent me/us, I/we, as owner/owners, attest that the application is made in good faith and that any information contained in the application is accurate and complete.

Donna Lynn Guest Rushlow
(Signature of owner)

(Signature of owner)

Donna Lynn Guest Rushlow
(Print name of owner)

(Print name of owner)

STATE OF FLORIDA }
COUNTY OF DUVAL ^{SS} }
~~DUVAL~~ }
~~NASSAU~~ }

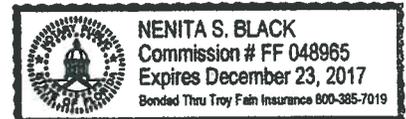
Subscribed and sworn to before me this 17 day of March, 2016

Nenita S. Black
Notary Public: Signature

NENITA S. BLACK
Printed Name

12/23/17
My Commission Expires

Personally Known _____ OR Produced Identification ID Produced: TDL



NASSAU

A. Michael Hickox, CFA, Cert. Res. RD1941
 Nassau County Property Appraiser

Property Search Sales Search Nassau Home

OWNER NAME RUSHLOW DONNA LYNN GUEST
MAILING ADDRESS 86249 TIMBER RIDGE ST

 YULEE, FL 32097
LOCATION ADDRESS 315 4TH ST S
 FERNANDINA BEACH 32034
SHORT LEGAL BLOCK 274 LOTS 22 23 24 25 26 IN OR
 1222/1863 CITY OF FDNA BEACH

PARCEL NUMBER 00-00-31-1800-0274-0220
TAX DISTRICT FERNANDINA BEACH (DISTRICT 2)
MILLAGE 20.6524
PROPERTY USAGE SINGLE FAMILY
DEED ACRES 0
HOMESTEAD N
PARCEL MAP RECORD [MAP THIS PARCEL](#)
TAX COLLECTOR SEARCH [NASSAU TAX COLLECTOR LINK](#)
PROPERTY RECORD CARD [LINK TO PROPERTY RECORD CARD \(PDF\)](#)

2015 Certified Values

JUST VALUE OF LAND	\$100,000
LAND VALUE AGRICULTURAL	\$0
TOTAL BUILDING VALUE	\$39,714
TOTAL MISC VALUE	\$218
JUST OR CLASSIFIED TOTAL VALUE	\$139,932
ASSESSED VALUE	\$139,932
EXEMPT VALUE	\$0
TAXABLE VALUE	\$139,932

Land Information

LAND USE	LAND UNITS	LAND UNIT TYPE	SEC-TWN-RNG
SFR 000100	125	FF	23-3N-28

Building Information

TYPE	TOTAL AREA	HEATED AREA	BED ROOMS	BATHS	PRIMARY EXTERIOR	SECONDARY EXTERIOR	HEATING	COOLING	ACTUAL YEAR BUILT	BUILDING SKETCH
SINGLE FAM	896	812	2	1	AVERAGE		CONVECTION	CONVECTION	1960	SHOW SKETCH

Miscellaneous Information

DESCRIPTION	DIMENSIONS L x W	UNITS	YEAR BUILT
WD DECK F	6 X 7	42	2005
WD DECK F	0 X 0	0	0

Sales Information

SALE DATE	BOOK / PAGE	BOOK / PAGE	PRICE	INSTRUMENT	QUALIFICATION	IMPROVED? (AT TIME OF SALE)	GRANTOR	GRANTEE
04/16/2004	1222/1863	1222/1863	45000	QC	Q	Y	TURNER LAVERNE	RUSHLOW DONNA LYNN GUEST
01/01/1973	152/195	152/195	3300	WD	U	Y		

3

INSTR # 200413438
OR BK 01222 PGS 1863-1865
RECORDED 04/16/2004 09:31:05 AM
J. M. OXLEY JR
CLERK OF CIRCUIT COURT
NASSAU COUNTY, FLORIDA
DOC TAX PD(F.S.201.02) 315.00
RECORDING FEES 15.00

THIS INSTRUMENT PREPARED BY:

Arthur I. Jacobs, P. A.
804 Atlantic Avenue
Fernandina Beach, Florida 32034

RECORD AND RETURN TO:

Arthur I. Jacobs, P. A.
804 Atlantic Avenue
Fernandina Beach, Florida 32034

RE PARCEL ID#: 00-00-31-1800-0274-0220
BUYER'S TIN:

REC 15.00
DOC 315.00
330.00

QUIT - CLAIM DEED

THIS QUIT - CLAIM DEED is made this _____ of April, 2004 by LAVERNE TURNER, the unmarried widow of Perry S. Turner, deceased, hereinafter called Grantor, and whose address is Post Office Box 1027, Yulee, FL 32041 to DONNA LYNN GUEST RUSHLOW, hereinafter called Grantee and whose address is 1067 Timber Ridge Street, Yulee, FL 32097.

(Wherever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

WITNESSETH:

THAT the Grantor, for and in consideration of the sum of Ten and NO/100 Dollars and other valuable considerations in hand paid to the Grantor, receipt whereof is hereby acknowledged, does remise, release and quit-claim unto the Grantee, all that certain land situate, lying and being in Nassau County, Florida, viz:

All of that certain lot, piece or parcel of land situate, lying and being in the City of Fernandina Beach (formerly Fernandina), in the County of Nassau and State of Florida, and known and described upon and according to the official plat of said City (as lithographed and issued by the Florida Railroad Company in 1857 and enlarged, revised and reissued by the Florida Town Improvement Company in 1887 and 1901) as:

Block 274, Lots 22, 23, 24, 25 and 26, Fernandina Beach, Nassau County, Florida.

The real property described in this instrument is not the constitutional homestead nor the primary physical residence of the Grantor.

This instrument prepared without benefit of title examination, title insurance or attorney's opinion of title.

Return to: DONNA LYNN GUEST RUSHLOW
1067 TIMBER RIDGE ST.
Yulee, FL 32097

315 5. 4th ST

SUBJECT TO taxes accruing subsequent to December 31, 2003.
SUBJECT TO covenants, restrictions and easements of record, if any, however this reference thereto shall not operate to reimpose same.
SUBJECT TO taxes for the current year.
TO HAVE AND TO HOLD the same together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the Grantor, either in law or equity, to the only proper use, benefit and behoof of the Grantee.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:
[Signature]
Witness Signature

Laverne J. Turner
LAVERNE TURNER, the unmarried widow of
Perry S. Turner, deceased

Wendy McKeithen
Witness Printed Signature

Sandra Bechan
Witness Signature

SANDRA Bechan
Witness Printed Signature

STATE OF FLORIDA
COUNTY OF NASSAU

The foregoing instrument was acknowledged before me this 2nd day of April, 2004 by LAVERNE TURNER, the unmarried widow of Perry S. Turner, deceased. He/She is personally known to me or has produced _____ as identification.

Notary Public, State and County Aforesaid
Barbara J. Pope
Notary Signature

CSR
(Title or Rank) Barbara J. Pope
Commission #DD258917
Expires: Oct 15, 2007
Bonded Thru
Atlantic Bonding Co., Inc.
(Serial No., if any)

Barbara J. Pope
Notary Printed Signature

**Donna Lynn Guest Rushlow
86249 Timber Ridge Street
Yulee Florida 32097
904-551-7607
904-234-9511**

March 17, 2016

Board of Adjustment
City of Fernandina Beach Comm. Dev. Dept.
204 Ash Street
Fernandina Beach, Fl. 32034

Subject: Application for Variance from the LDC (315 S. 4th St.) (125x100 Lot)

Dear Sir or Madam,

I am requesting this variance to improve my property.

By restoring the original 25 foot platted lots of record the approved variance would create the flexibility to sell both 25 foot and 50 foot lots. In doing so, the lots would be more compatible with the surrounding properties and better fit the improving character of the neighborhood.

The variance requested will make possible the reasonable use of the Land Structure Code and reasonable use of the land. It would also be in harmony with the intent and purpose of the LDC and the Comprehensive Plan, as they both discuss honoring platted lots of record.

I would appreciate the opportunity to be apart of the ongoing restoration and revitalization of our beautiful downtown neighborhood and hope you will approve this variance.

Sincerely,

Donna Lynn Guest Rushlow

TAX YEAR	ACCOUNT NUMBER	TYPE	ALT KEY	MILLAGE CODE	ESCROW CODE
2015	00-00-31-1800-0274-0220	REAL ESTATE	13325	002	

R

Legal Description

315 4TH S
FERNANDINA BEACH 32034
BLOCK 274 LOTS 22 23 24 25 26 IN OR 1222/1863 CITY OF
FDNA BEACH

315

56
6 - 17340

RUSHLOW DONNA LYNN GUEST
86249 TIMBER RIDGE ST
YULEE FL 32097-5932



AD VALOREM TAXES

TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION AMOUNT	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS					
GENERAL FUND (C100)	5.9768	139,932		139,932	836.34
TRANSPORTATION (C100)	.5902	139,932		139,932	82.59
SCHOOL BOARD					
BASIC DISCRETIONARY (S200)	.7480	139,932		139,932	104.67
CAPITAL OUTLAY (S200)	1.4000	139,932		139,932	195.90
SCHOOL BOARD LOCAL EFFORT	5.0050	139,932		139,932	700.36
ST JOHNS RIVER MGMT DIST	.3023	139,932		139,932	42.30
FL INLAND NAVIGATION DIST	.0320	139,932		139,932	4.48
MOSQUITO CONTROL DISTRICT	.1472	139,932		139,932	20.60
CITY OF FERNANDINA BEACH					
FERNANDINA BEACH	6.1021	139,932		139,932	853.88
VOTER APPROVED DEBT	.2023	139,932		139,932	28.31
TOTAL MILLAGE	20.5059		TOTAL AD VALOREM TAXES		\$2,869.43



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NON-AD VALOREM ASSESSMENTS		
LEVYING AUTHORITY	RATE	AMOUNT
		TOTAL NON-AD VALOREM ASSESSMENTS
		\$.00
TOTAL COMBINED TAXES AND ASSESSMENTS		\$2,869.43



Scan to view bill online

If Paid By →	Nov 30, 2015	Dec 31, 2015	Jan 31, 2016	Feb 29, 2016	Mar 31, 2016
Please Pay →	2,754.65	2,783.35	2,812.04	2,840.74	2,869.43

TAX YEAR	ACCOUNT NUMBER	TYPE	ALT KEY	MILLAGE CODE	ESCROW CODE
2015	00-00-31-1800-0274-0220	REAL ESTATE	13325	002	

R

RETURN WITH PAYMENT

RUSHLOW DONNA LYNN GUEST
86249 TIMBER RIDGE ST
YULEE, FL 32097

315 4TH S
FERNANDINA BEACH 32034
BLOCK 274 LOTS 22 23 24 25 26 IN OR 1222/1863 CITY OF
FDNA BEACH

PAY IN U.S. FUNDS TO: JOHN M. DREW, TAX COLLECTOR • 86130 LICENSE ROAD, SUITE 3 • FERNANDINA BEACH, FL 32034 • (904) 491-7400

If Paid By →	Nov 30, 2015	Dec 31, 2015	Jan 31, 2016	Feb 29, 2016	Mar 31, 2016
Please Pay →	2,754.65	2,783.35	2,812.04	2,840.74	2,869.43

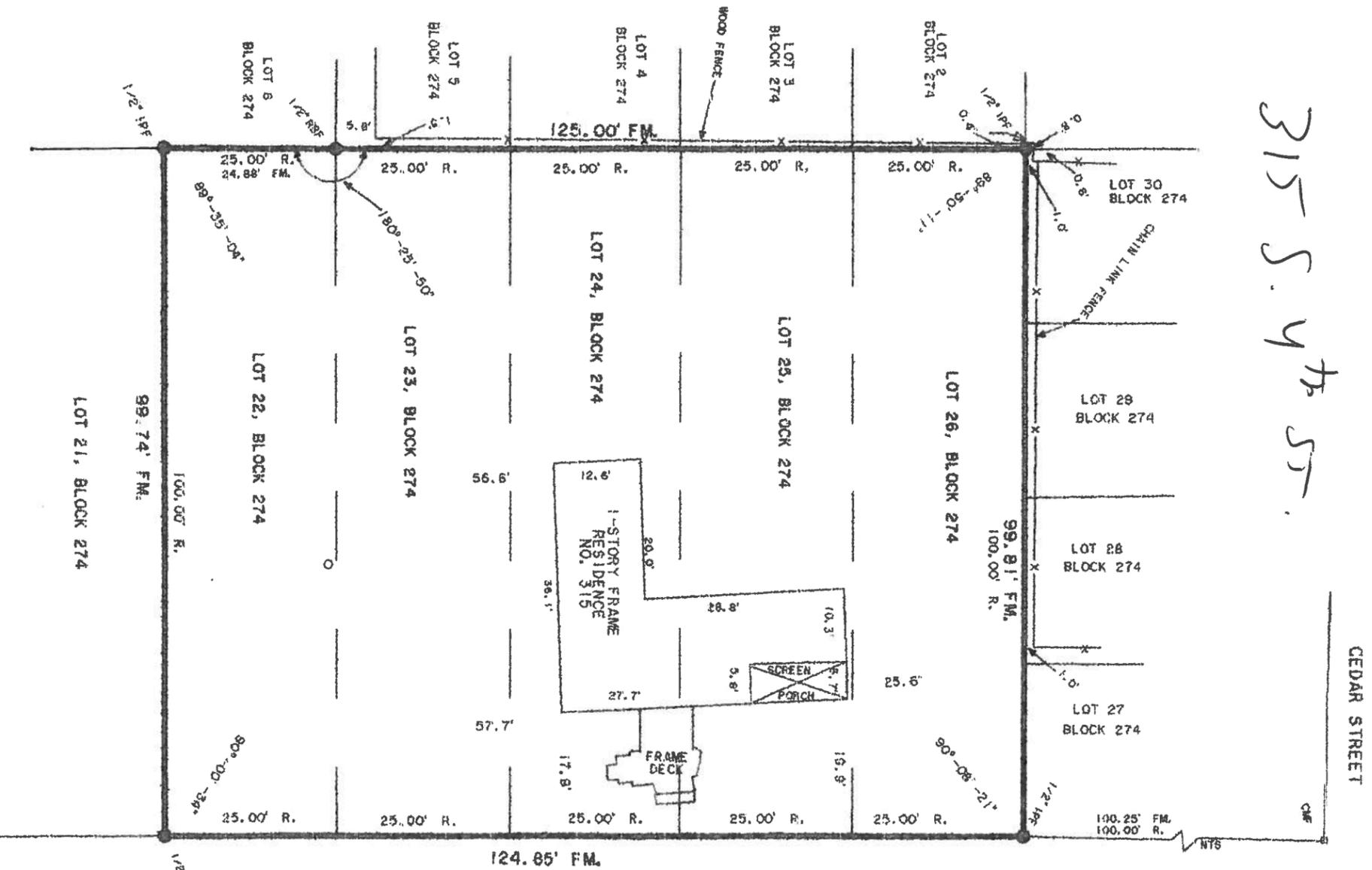


MAP SHOWING BOUNDARY SURVEY OF
 LOTS 22, 23, 24, 25 AND 26, BLOCK 274.

LYING AND BEING IN THE CITY OF FERNANDINA BEACH (FORMERLY NAMED
 FERNANDINA), IN THE COUNTY OF NASSAU AND THE STATE OF FLORIDA,
 AND KNOWN AND DESCRIBED UPON AND ACCORDING TO THE OFFICIAL
 PLAT OF SAID CITY (AS LITHOGRAPHED AND ISSUED BY THE FLORIDA
 RAILROAD COMPANY IN 1867, AND ENLARGED, REVISED BY THE FLORIDA
 BY THE FLORIDA TOWN IMPROVEMENT COMPANY IN 1987 AND 1901).

FOR: DON & DONNA RUSHLOW

315 S. Yth St.



SOUTH 4TH STREET

60' R/W (PAVED)

COASTAL LAND SURVEYORS

8 MAPPERS, INC.
 34 NORTH FOURTEENTH STREET
 FERNANDINA BEACH, FLORIDA 32032
 TEL. 904-261-6950 FAX 904-277-6650

I HEREBY CERTIFY THE INFORMATION DEPICTED HEREON AS
 MEETING THE MINIMUM TECHNICAL STANDARDS FOR LAND
 SURVEYING, CHAPTER 5J-17.050, FLORIDA ADMIN. CODE, AND/OR
 CHAPTER 18077, GEORGIA STATUTES.

LICENSED BUSINESS NO. 6412

JAMES PEACOCK, PROFESSIONAL SURVEYOR AND MAPPER

FLORIDA CERTIFICATE NO. 3718

GEORGIA CERTIFICATE NO. 23665

OFFICIAL SEAL

BEARINGS BASED ON N/A

PROPERTY SHOWN HEREON LIES WITHIN

FLOOD ZONE X AS SHOWN ON

FEMA FLOOD INSURANCE RATE MAP,

COMMUNITY NO. 12012, PANEL NO. 0237F

DATED 12-17-10

DATE OF SURVEY: MARCH 15, 2016

SCALE 1"=20'

JOB NO. 0402-28 F.B. 286, 337

CORNER MARKERS HAVE NO IDENTIFICATION U.M.O.

LEGEND:

- IRON PIPE FOUND - IPF
- IRON PIPE SET - IPS
- NE/BAR FOUND - NBF
- NOT TO SCALE - NTS
- BUILDING RESTRICTION LINE - BRL
- CONCRETE MONUMENT FOUND - CMF
- STAINLESS STEEL PIPE FOUND - SSPF
- RIGHT-OF-WAY - R/W
- POINT OF CURVE - PC
- POINT OF TANGENCY - PT
- POINT OF REVERSE CURVE - PRC
- CENTERLINE - CL
- OFFICIAL RECORDS BOOK - O.R.B.
- POWER LINE - P
- PLAT - P
- FIELD MEASURED - FM
- RECORD - R
- DEED - D
- POWER POLE - PP
- CONCRETE - CONC.
- FENCE - F
- RIGHT-OF-WAY - R/W
- POINT OF REVERSE CURVE - PRC
- CENTERLINE - CL
- OFFICIAL RECORDS BOOK - O.R.B.

THE SURVEY DEPICTED HERE IS NOT COVERED
 BY PROFESSIONAL LIABILITY INSURANCE.